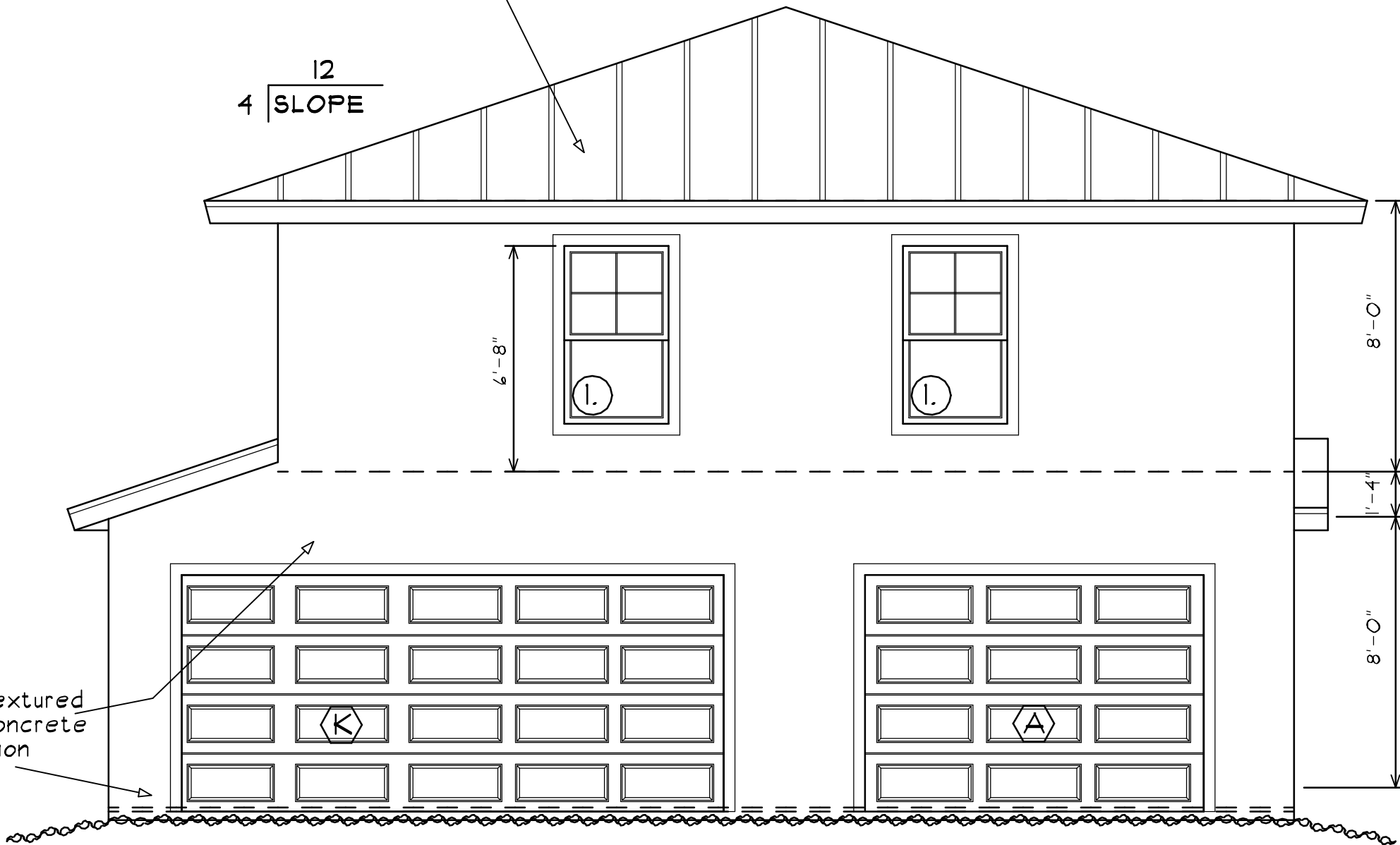


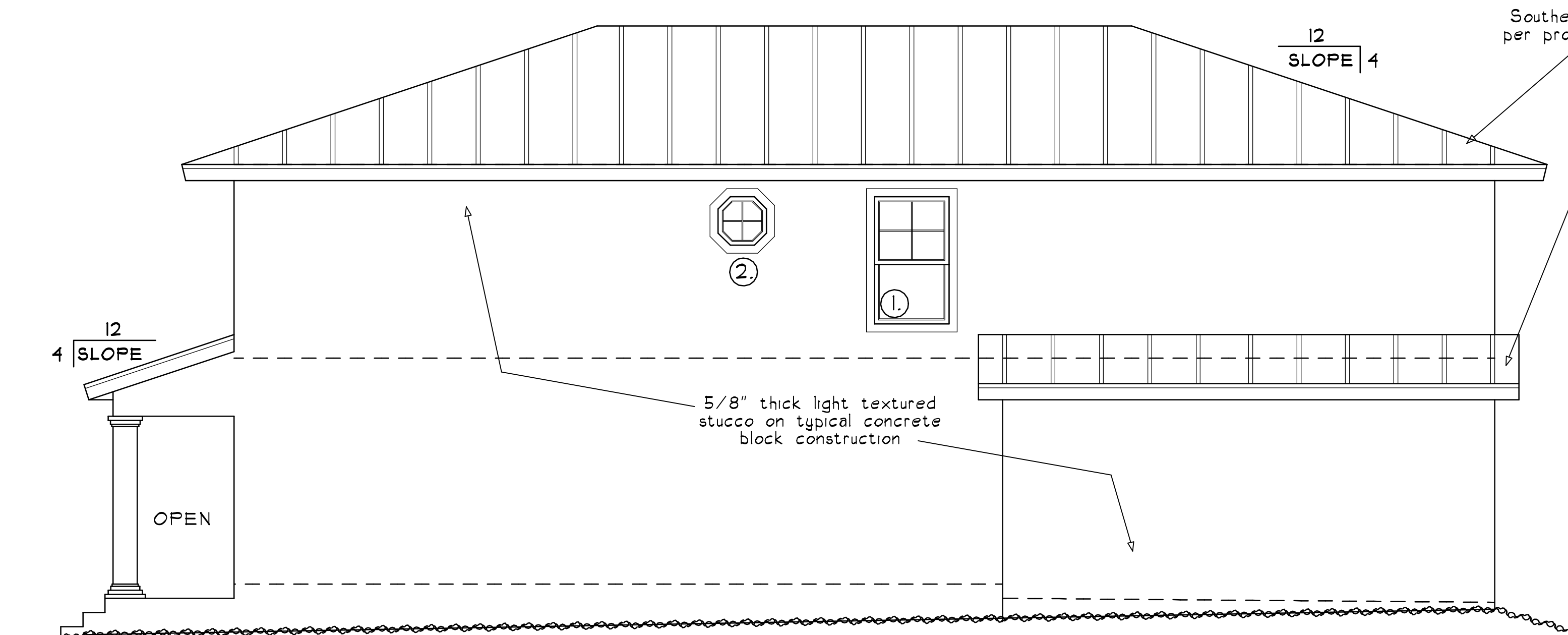
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



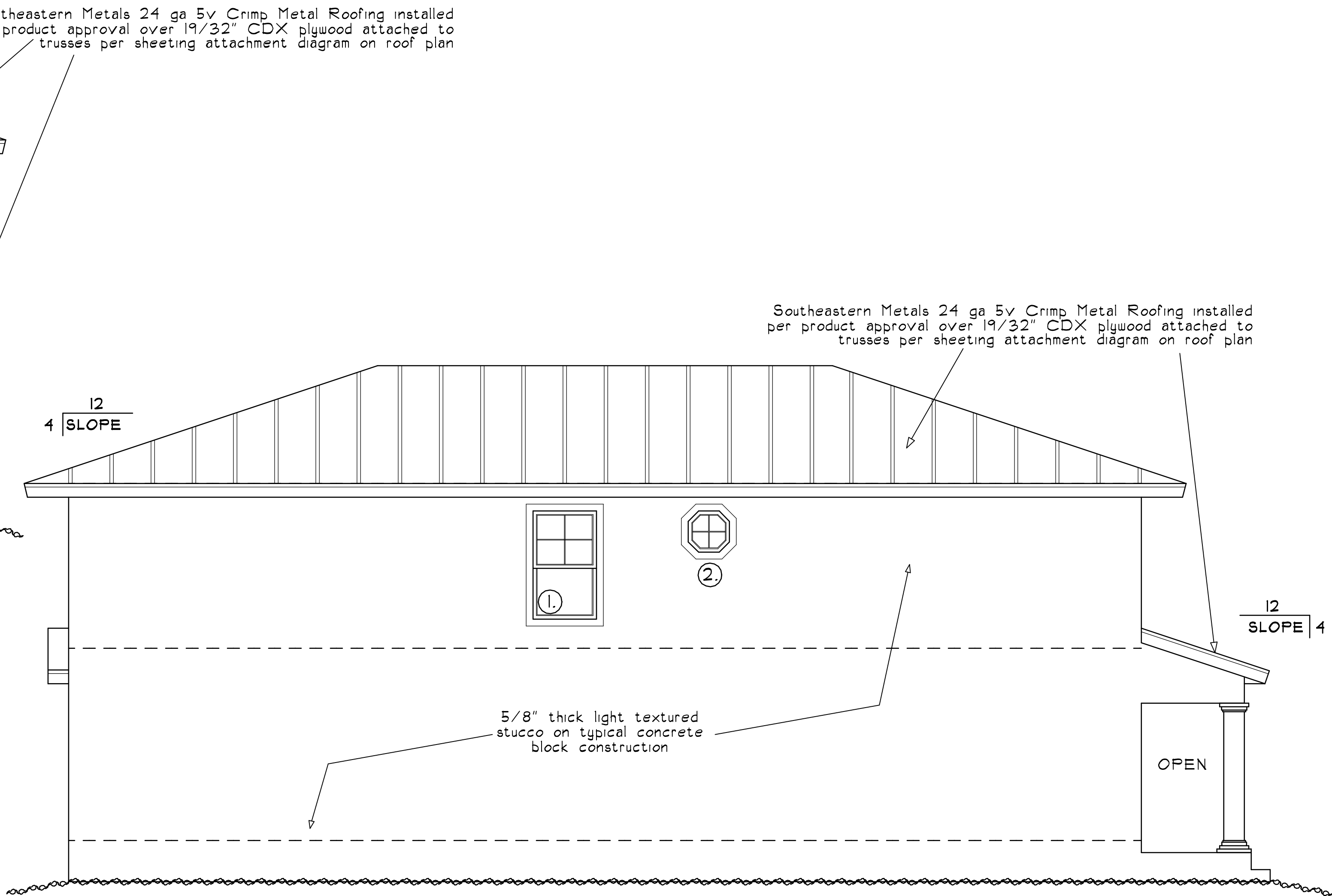
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

INDEX OF SHEETS

SHEET NO.		DESCRIPTION
1.		INDEX OF SHEETS, ELEVATIONS
2.		FIRST & SECOND FLOOR PLANS
3.		FOUNDATION PLAN
4.		FRAMING & ROOF PLAN
5.	D-1	DETAILS
6.	D-2	DETAILS
7.	D-3	PRODUCT APPROVAL, PERMIT INFORMATION & SECTIONS
8.	M-1	FIRST & SECOND FLOOR MECHANICAL PLANS
9.	E-1	FIRST & SECOND FLOOR ELECTRICAL PLANS

Revisions :

Date Drawn:
6-7-24

Drawn by:
C.C.U.

Checked by:
D.R.B.

Townhomes Right Garage For:

KRO Rivers Properties LLC

West Building

ADDRESS: Ellendale Street, PCN 3T-38-41-00T-092-00090-7 LOTS 9 & 11

Braden & Braden AIA, PA

ARCHITECTS - PLANNERS

417 S.E. COCONUT AVENUE

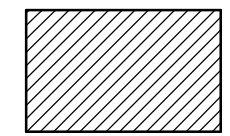
Tel : (772) 287-8258

Fax : (772) 287-8283

Website: www.bradenarchitects.com

Stuart, FL 34996 #AAC0000032

B



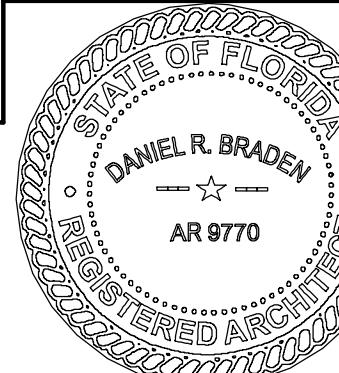
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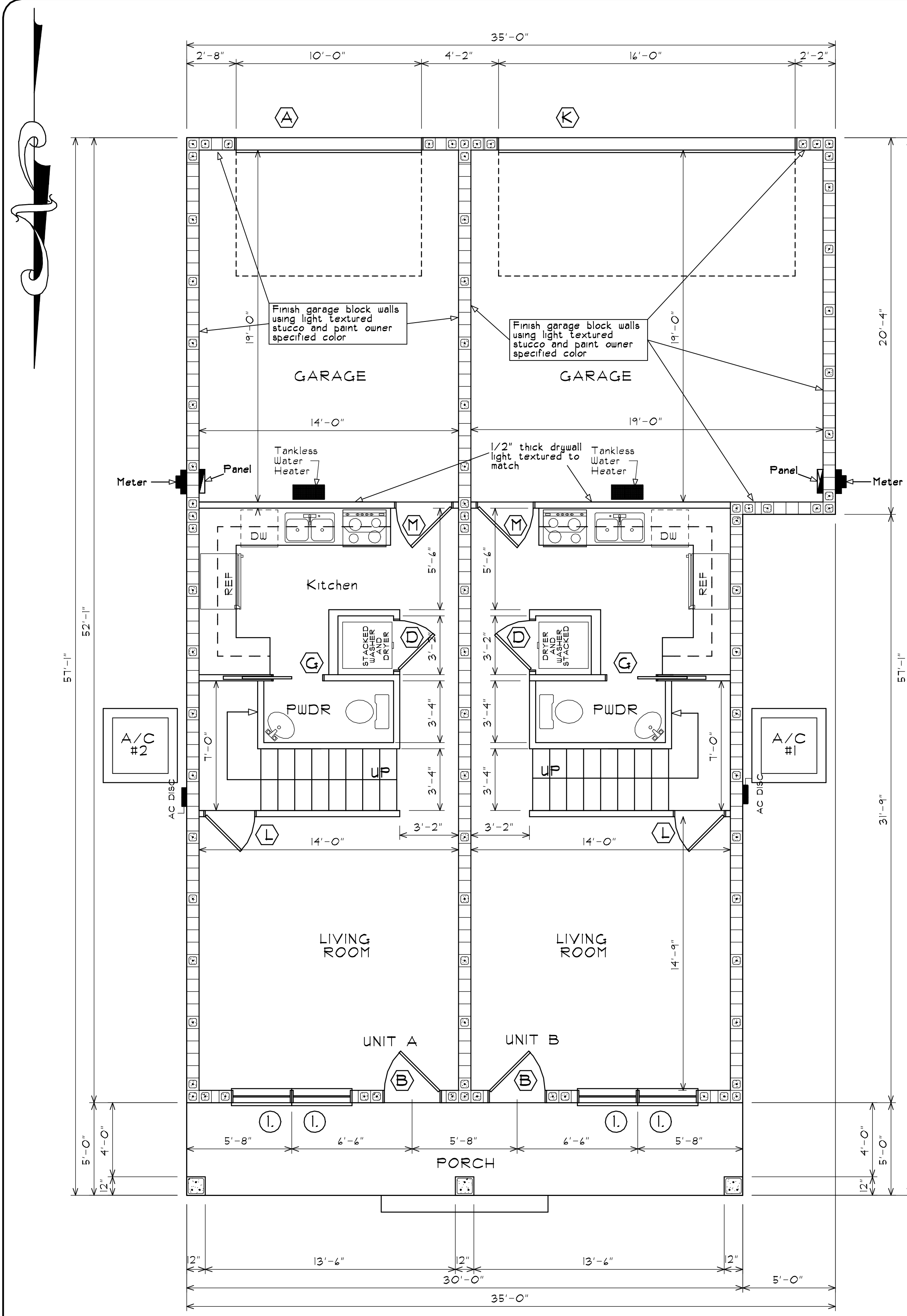
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OF 9

JOB NUMBER:

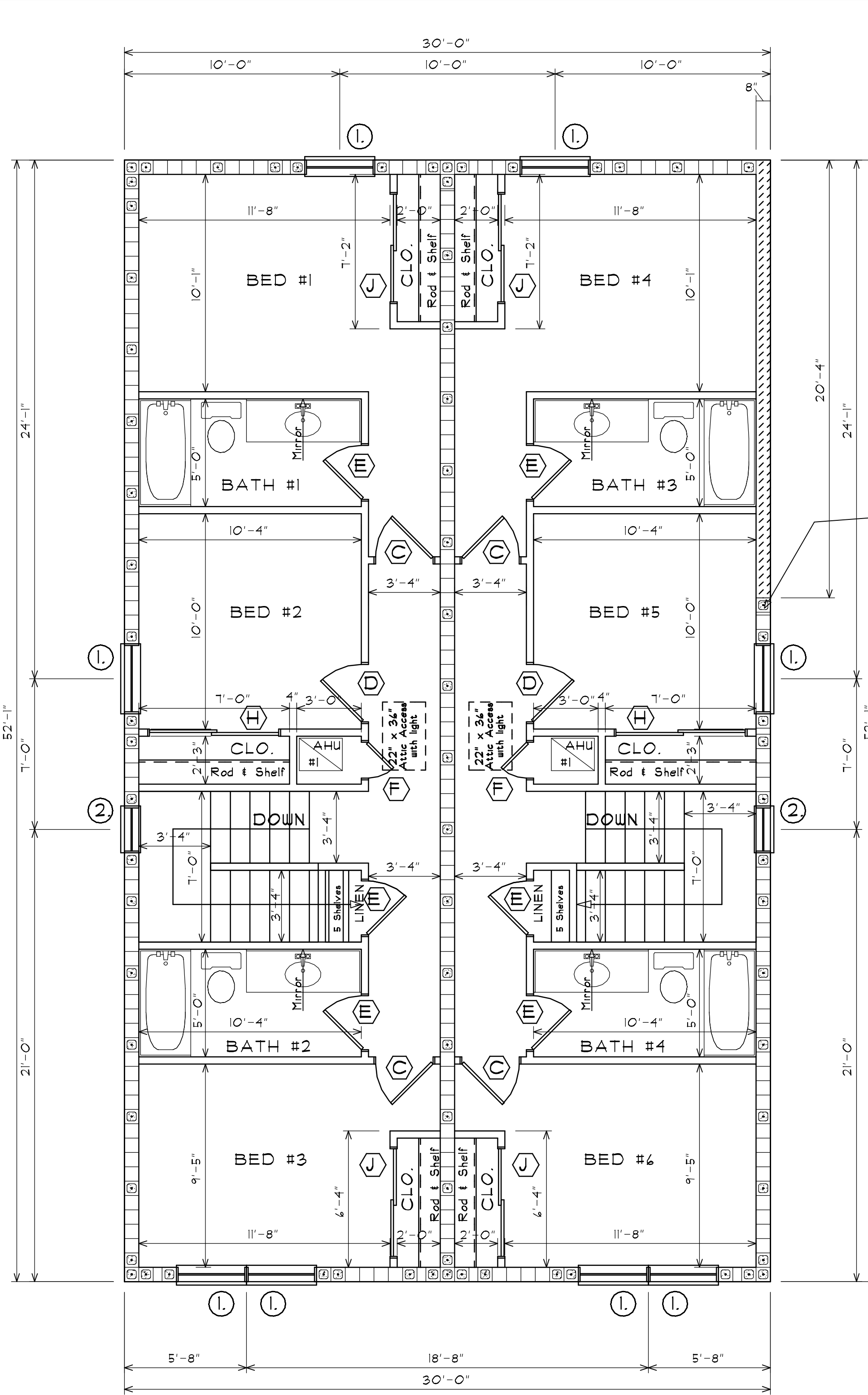
24-117





FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

- TYPICAL NOTES:**
- Contractor to verify ALL notes and dimensions prior to proceeding with work
 - Contractor to STRICTLY enforce ALL OSHA Requirements.
 - ALL Lumber to be used as Beam, Rafters, etc... to have a min. 1,500 psi fiber bending stress.
 - No dissimilar metals to touch.
 - Drywall at ceilings shall be leveled and attached to bottom chord of trusses with screws per FBC RTO2.3.5.
 - ALL wood in contact with concrete shall be pressure treated.
 - ALL wall dimensions are nominal and not finished wall or stud dimensions.
 - ALL plumbing fixtures to be low flow.
 - Lowest finished floor to be set by others - Surveyor to set in field.
 - Separation between residence and garage shall be per FBC R302.4
 - Door between garage and residence shall be 1-3/4" 20 min. rated door
 - Wall and Ceiling shall have a flame-spread classification of not greater than 200 per FBC R302.9.1
 - Wall and ceiling finishes shall have a smoke-developed index of not greater than 450 per FBC R302.9.2
 - All exposed attic insulation materials installed on attic floors shall have a critical radiant flux not less than 0.12 watt per square centimeter. Exposed foam plastic insulation materials exposed on the underside of the roof deck or on the attic walls shall comply with F.B.C. R316 - see permit info box of code edition
 - ALL ceramic tile surfaces installed shall conform to ASTM A108.1 thru A108.6, A108.1, A118.1, A118.3, A136.1 and A137.1
 - Insulation including facings such as retarders or vapor permeable members installed within floor-ceiling assemblies, roof-ceiling assemblies, wall, crawl spaces and attics shall have a flame spread index not to exceed 25 with an accompanying smoke developed index not to exceed 450 when tested in accordance with ASTM E 84. Insulation shall comply with F.B.C. R316.
- Tankless Hot Water Heater w/ recirculation installed per FBC Plumbing

WALL SYMBOL LEGEND

- CBS walls - Fill cells solid with concrete and (I) #5 bar vert. at 40" o.c. for walls up to 10'-0" high. Space 32" o.c. for walls up to 15'-0" high. For walls over 15'-0" a special inspection is required by any licensed structural engineer to review and approve the vert. steel installation in the footings, in the wall cavity and into beam.
- 2" x 4" non-bearing stud walls - see sections. Insulate with R-11 batts at bathrooms & between A/C and Non-A/C spaces
- 2" x 8" bearing stud walls - see sections. Insulate with R-19 batts at bathrooms & between A/C and Non-A/C spaces
- * top of wall height is clear span of block to bottom of first structural beam This applies to the garage area only in this case.

Door Schedule

Mark	Size	Door Description
A	10'-0" x 7'-0"	GARAGE DOOR
B	3'-0" x 6'-8"	FIBERGLASS FRENCH DOOR
C	3'-0" x 6'-8"	HOLLOW CORE - WOOD - 2 PANEL
D	2'-8" x 6'-8"	HOLLOW CORE - WOOD - 2 PANEL
E	2'-6" x 6'-8"	HOLLOW CORE - WOOD - 2 PANEL
F	2'-8" x 6'-8"	HOLLOW CORE - WOOD - 2 PANEL - LOUVERED
G	2'-8" x 6'-8"	HOLLOW CORE - WOOD - 2 PANEL - POCKET
H	6'-0" x 6'-8"	HOLLOW CORE - WOOD - 2 PANEL - BIPASS
J	5'-0" x 6'-8"	HOLLOW CORE - WOOD - 2 PANEL - BIPASS
K	16'-0" x 7'-0"	GARAGE DOOR
L	2'-8" x 3'-6"	HOLLOW CORE - WOOD - 2 PANEL ACCESS
M	3'-0" x 6'-8"	SOLID CORE - WOOD - 2 PANEL - 20 min. rated

- ALL exterior doors including garage doors to withstand pressures stated in permit information box on these plans.
- Verify all masonry/rough opening sizes prior to ordering doors.
- See product approval chart on these plans for exterior door manufacturer information (including garage door)
- Provide one exit door (swing type) that is 3'-0" wide minimum and one emergency escape door (not shuttered). If escape door has glazing then it must be impact resistant and shall NOT be thru garage. This may be the same door if it meets both criteria listed above.

Window Schedule

Mark	Size (wxh)	Window Description
1.	3'-1" x 5'-3"	SINGLE HUNG - EGRESS
2.	2'-0" x 2'-0"	OCTAGONAL FIXED GLASS

- ALL Windows to be aluminum windows with tint. Provide muntins and structural mullions per elevations. See product approval chart for window manufacturer information.
- ALL windows to withstand Pressures stated in Permit Information Box on these plans.
- ALL windows in bathrooms to be tempered
- ALL windows within 18" of finished floor to be tempered unless impact rated.
- Verify all masonry/rough opening sizes prior to ordering windows.

TOTAL BUILDING Square Footage
Unit A Total Under Roof = 1,582 sq. ft.
Unit B Total Under Roof = 1,684 sq. ft.
A/C Space Total = 3,266 sq. ft.

UNIT A Square Footage
Total A/C space = 486 sq. ft.
Covered Porch Total = 75 sq. ft.
Garage = 295 sq. ft.
First Floor Total = 856 sq. ft.
2nd Floor A/C space = 126 sq. ft.

UNIT A A/C Square Footage
1st Floor A/C space = 486 sq. ft.
2nd Floor A/C space = 126 sq. ft.
A/C Space Total = 1,212 sq. ft.

UNIT A TOTAL Square Footage
First Floor Total = 856 sq. ft.
2nd Floor A/C space = 126 sq. ft.
Total Under Roof = 1,582 sq. ft.

UNIT B Square Footage
1st Floor A/C space = 486 sq. ft.
Covered Porch Total = 75 sq. ft.
Garage = 397 sq. ft.
First Floor Total = 958 sq. ft.
2nd Floor A/C space = 126 sq. ft.

UNIT B A/C Square Footage
1st Floor A/C space = 486 sq. ft.
2nd Floor A/C space = 126 sq. ft.
A/C Space Total = 1,212 sq. ft.

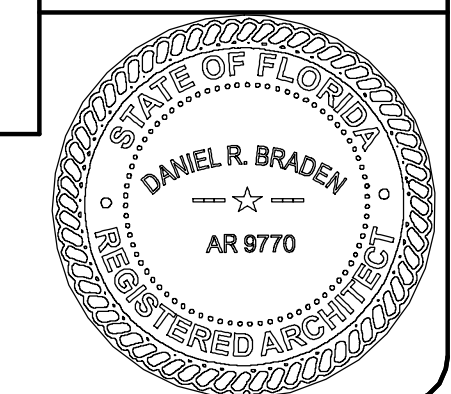
UNIT B TOTAL Square Footage
First Floor Total = 958 sq. ft.
2nd Floor A/C space = 126 sq. ft.
Total Under Roof = 1,684 sq. ft.

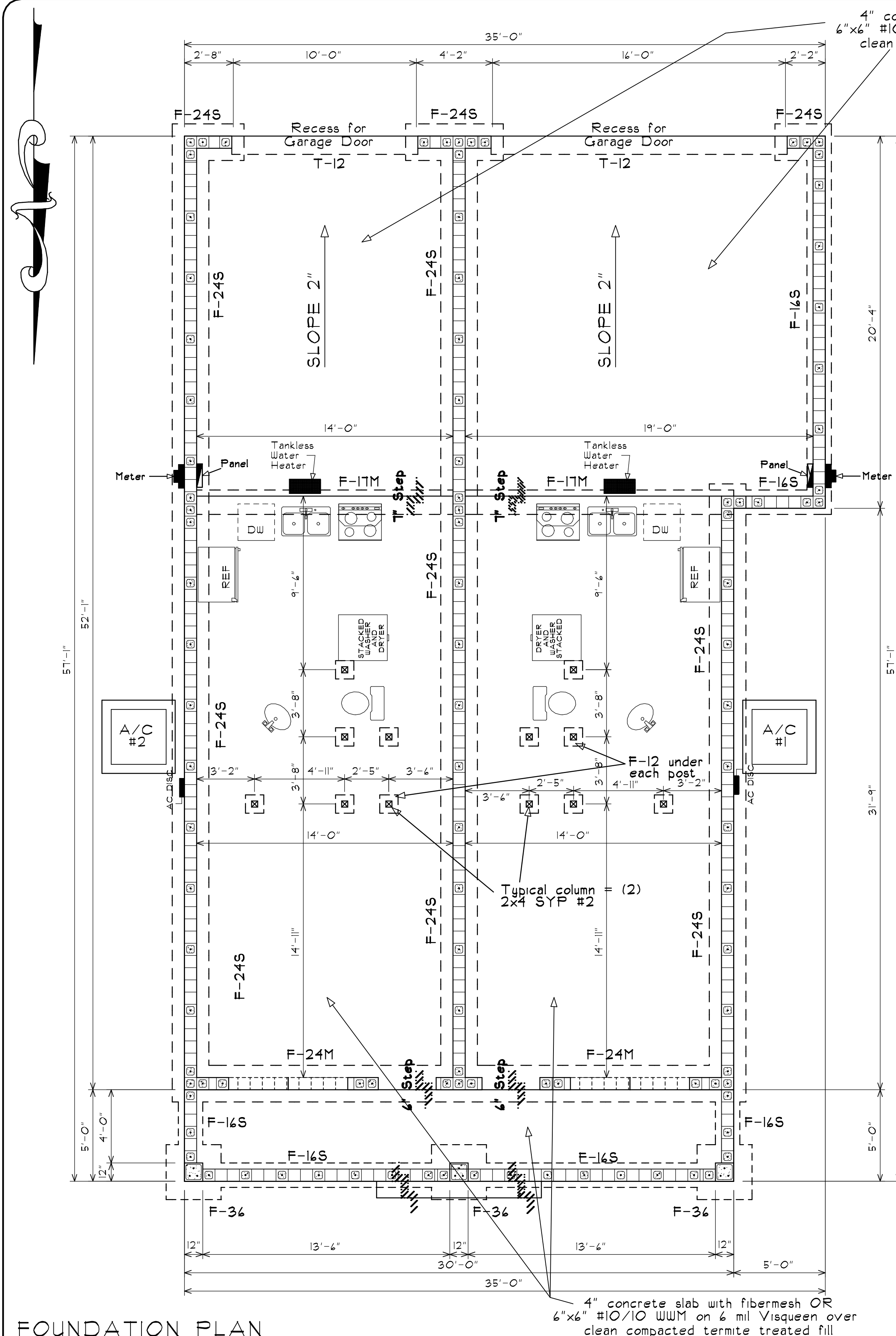
Revisions:
Date Drawn: 6-1-24
Drawn by: C.C.U.
Checked by: D.R.B.

Townhomes Right Garage For:
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SHEET NO:
2
OF 9
JOB NUMBER:
24-117



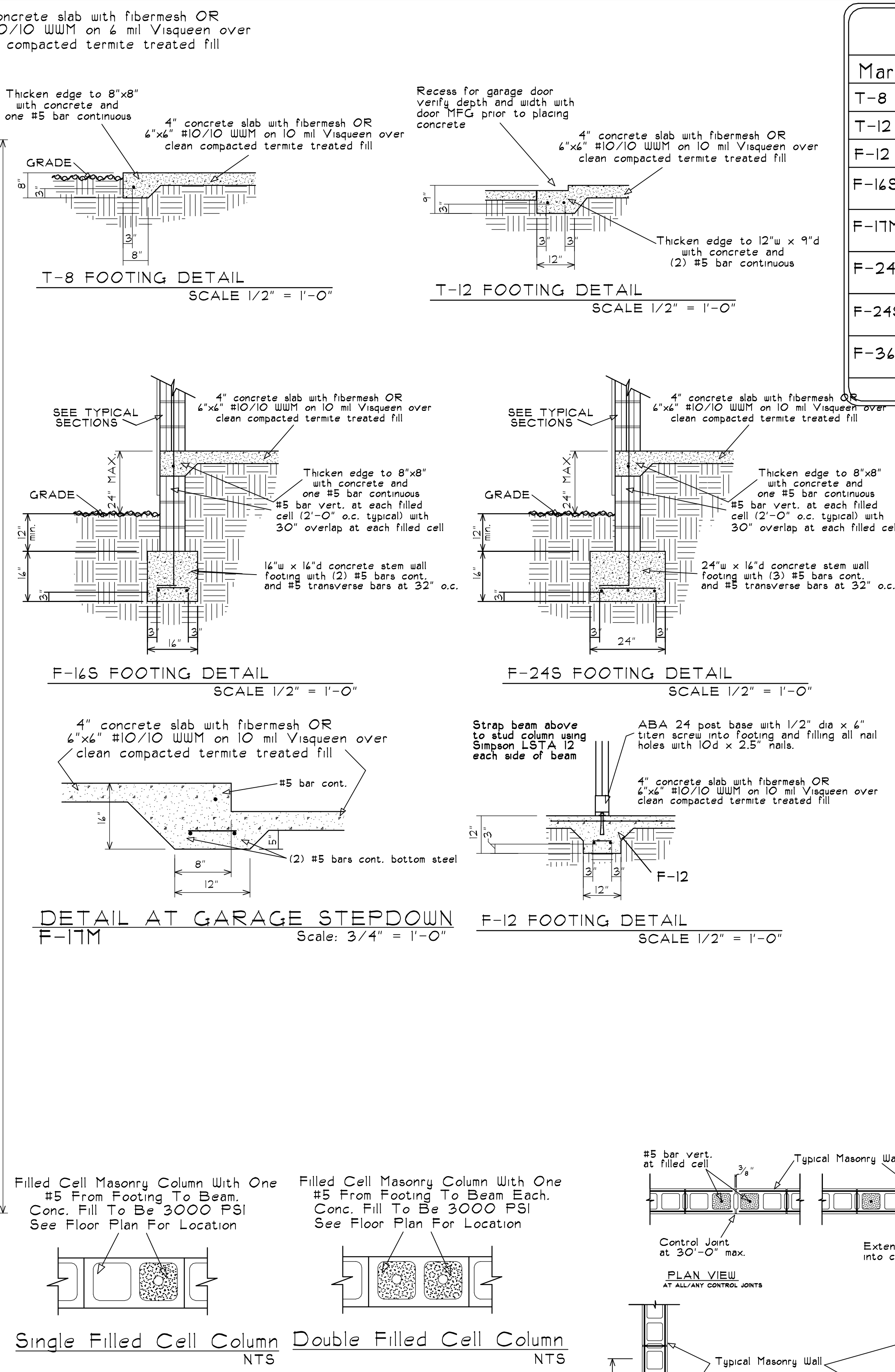


FOUNDATION PLAN

- FOUNDATION NOTES:
- Any changes to plans must be submitted to the architect for approval prior to proceeding with construction.
 - Contractor shall be responsible for verification of all notation and dimensions prior to start of construction.
 - ALL Concrete used for slabs shall be 2,500 PSI concrete min., and ALL Concrete used for vertical filled cells, continuous, tie beams etc., shall be 3,000 P.S.I. concrete and/or 4,000 P.S.I. grout mix min.
 - Soil bearing capacity assumed to be 2500 psf and stable. This shall be confirmed in writing by soil testing report done by others prior to the start of any construction
 - Verify all recess thickness at shower floors, all floor finishes as selected by owner, door sills & thresholds including pocket SGD frame widths etc... prior to placing any slabs.
 - Contractor to provide filled cell with concrete and 1 #5 bar vert. at 40" o.c. max. Provide (1) filled cell on each side of openings up to 5'-11" wide. Provide (2) filled cells on each side of openings from 6'-0" to 9'-11" and Provide (3) filled cells on each side of openings from 10'-0" and up Contractor to see plans for any other condition used. Foundation walls shall have filled cells at 24" o.c. unless otherwise noted (see section)

- Contractor to provide for Form Board Survey - Form Board Survey to be provided to Truss Company prior to truss construction
- ALL Reinforcing steel shall be grade 60, meeting ASTM A-16 and A-35 specifications. ALL Anchors to be A-307 steel.
- Provide a minimum of 3" concrete protection at footings and 1-1/2" concrete protection at beams for ALL reinforcing bars.
- Contractor to provide the Architect with truss shop drawings including ALL truss cut sheets showing ALL truss reactions prior to START OF FOUNDATION WORK for strap and footing size verification.

Column Schedule	
Mark	Size and Description
C-1	12" concrete column with (4) #5 bars vert. and #3 ties at 12" o.c. over 16" x 16" x 36" h concrete block pedestal with (4) #5 bars vert.



Single Filled Cell Column Double Filled Cell Column

Footing Schedule	
Mark	Size and Description
T-8	Thicken slab edge to 8" w x 8" d with (1) #5 bar cont.
T-12	Thicken slab edge to 12" w x 9" d with (2) #5 bar cont.
F-12	12" x 12" x 12" concrete monolithic footing with (2) #5 bar each way
F-16S	16" w x 16" d concrete monolithic footing with (2) #5 rebar continuous and #5 transverse bars at 32" o.c. (bottom)
F-17M	16" w x 16" d concrete monolithic footing at Garage step down with (2) #5 rebar continuous and #5 transverse bars at 32" o.c. (bottom)
F-24M	24" w x 16" d concrete monolithic footing with (3) #5 rebar continuous and #5 transverse bars at 32" o.c. (bottom)
F-24S	24" w x 16" d concrete stem wall footing with (3) #5 rebar continuous and #5 transverse bars at 32" o.c. (bottom)
F-36	36" w x 36" l x 12" d concrete pad footing with #5 rebar at 8" o.c. each bottom steel.

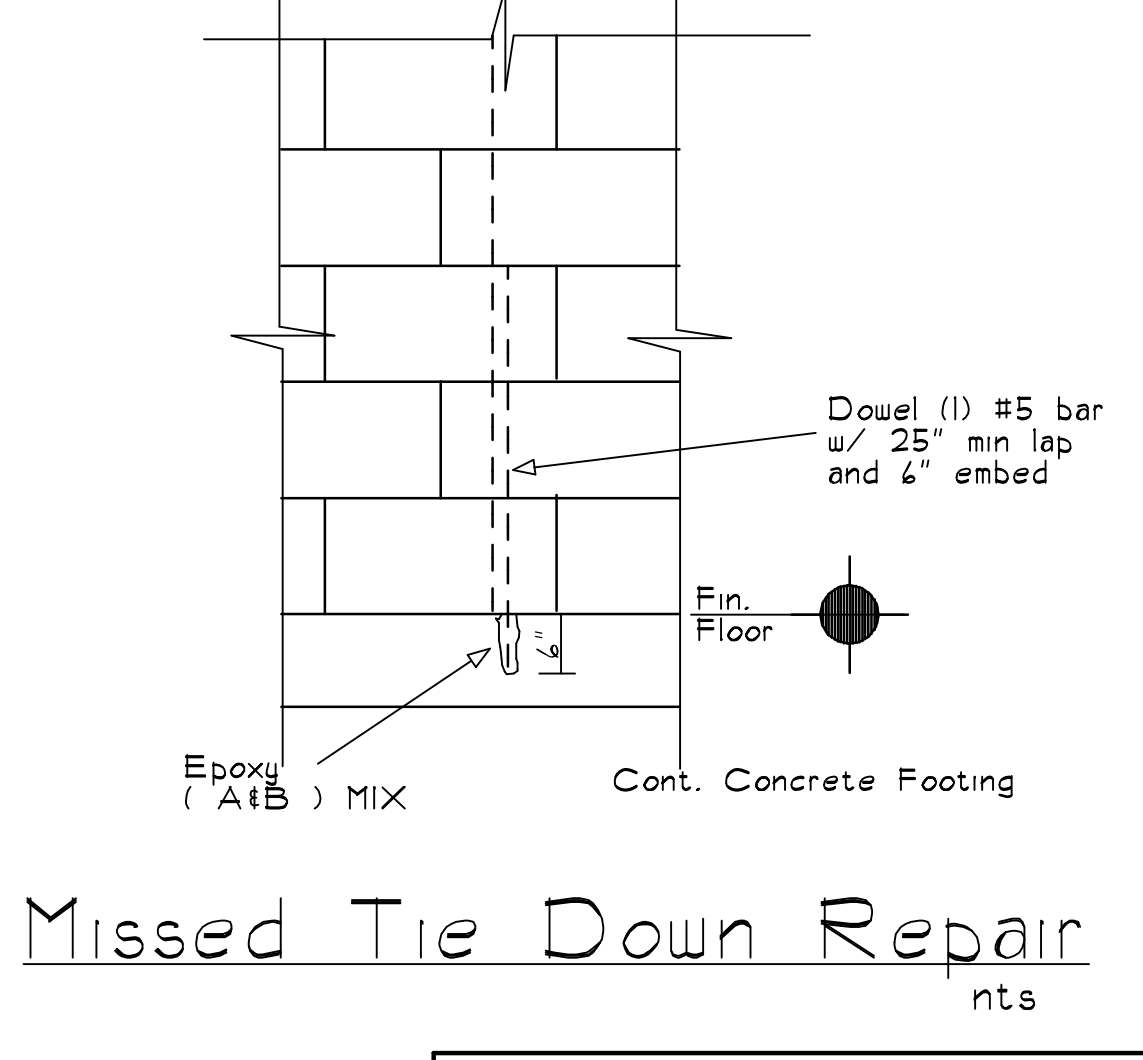
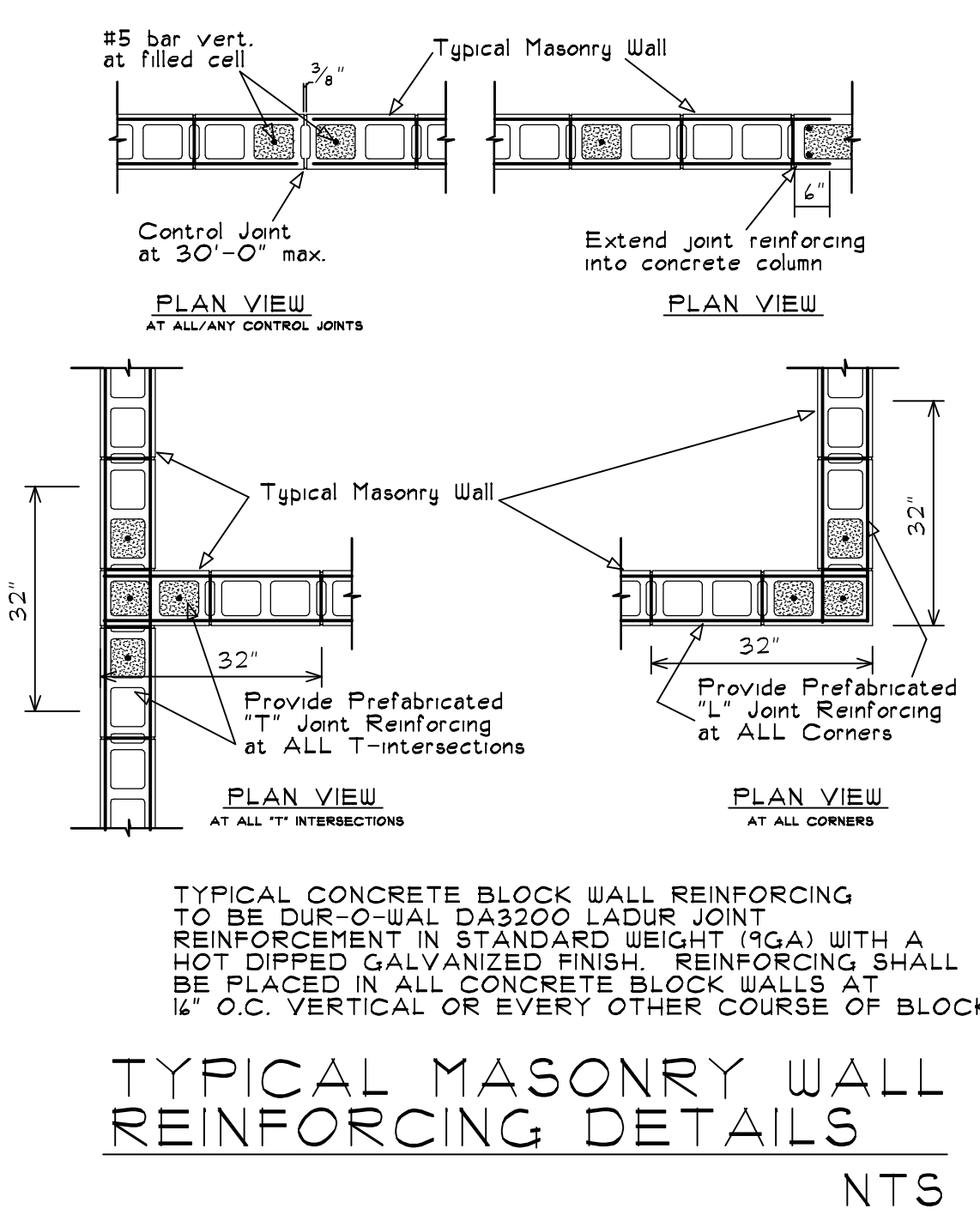
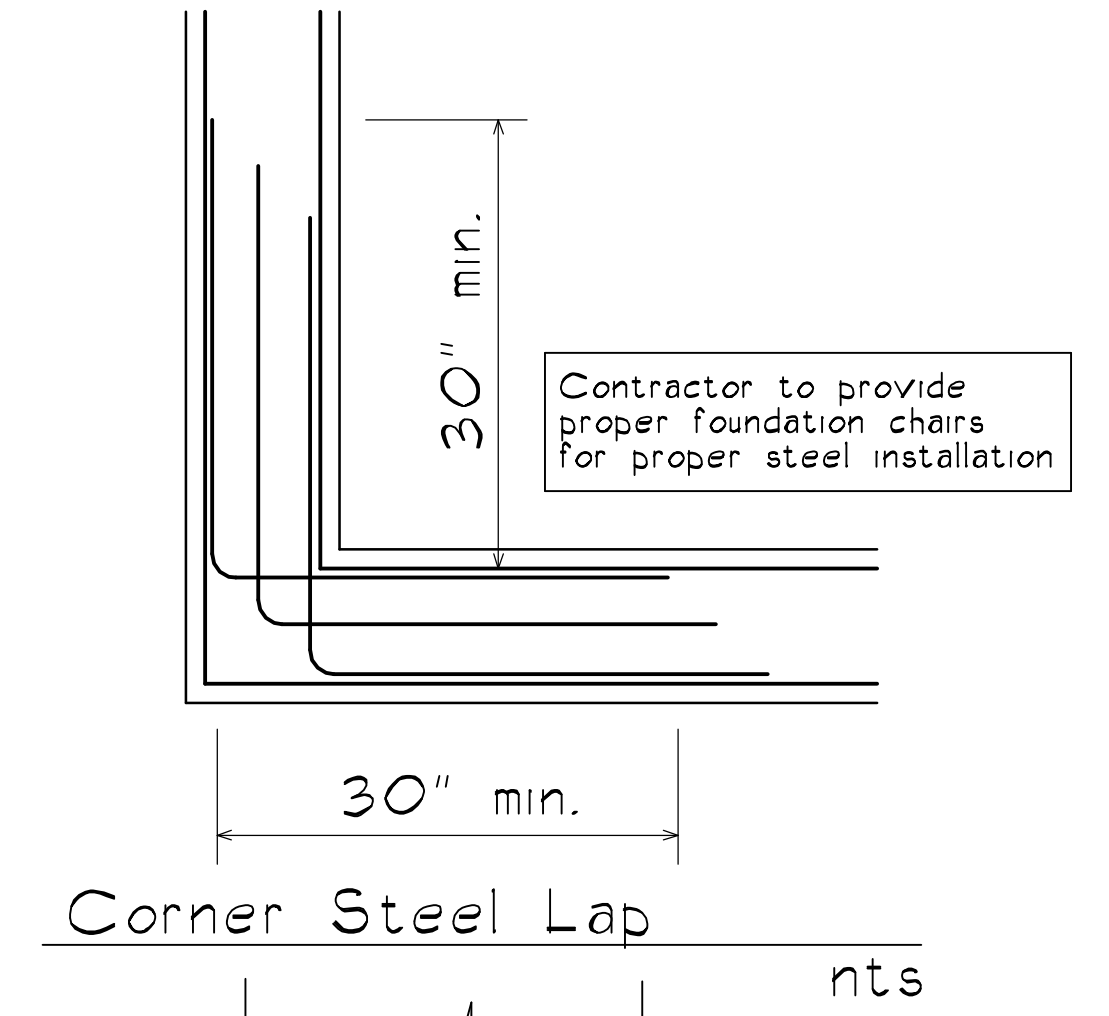
Termite Protection for New Construction as per F.B.C. 1816.1
CONTRACTOR TO REFERENCE F.B.C. BUILDING 1816.1 FOR FURTHER REQUIREMENTS

Soil treatment used for subterranean termite prevention inside the foundation perimeter shall be done after all excavation, backfilling and compaction is complete.

If soil area is disturbed after initial chemical soil treatment, area shall be re-treated with a chemical soil treatment including spaces boxed or framed.

Treatment must be in accordance with the rules and laws established by the Florida Department of Agriculture and consumer services.

Protective sleeves around piping penetrating concrete slab on grade floors shall not be of cellulose-containing materials and shall have a min. wall thickness of 0.010" and shall be sealed within the slab using a noncorrosive clamping device to eliminate the annular space between pipe and sleeve. NO TERMITICIDES shall be applied inside the sleeve per FBC Plumbing 305.1.2



Revisions:

Date Drawn: 6-1-24
Drawn by: C.C.U.
Checked by: D.R.B.

Townhomes Right Garage For:

KRO Rivers Properties LLC
West Building

Braden & Braden AIA, PA
ARCHITECTS - PLANNERS
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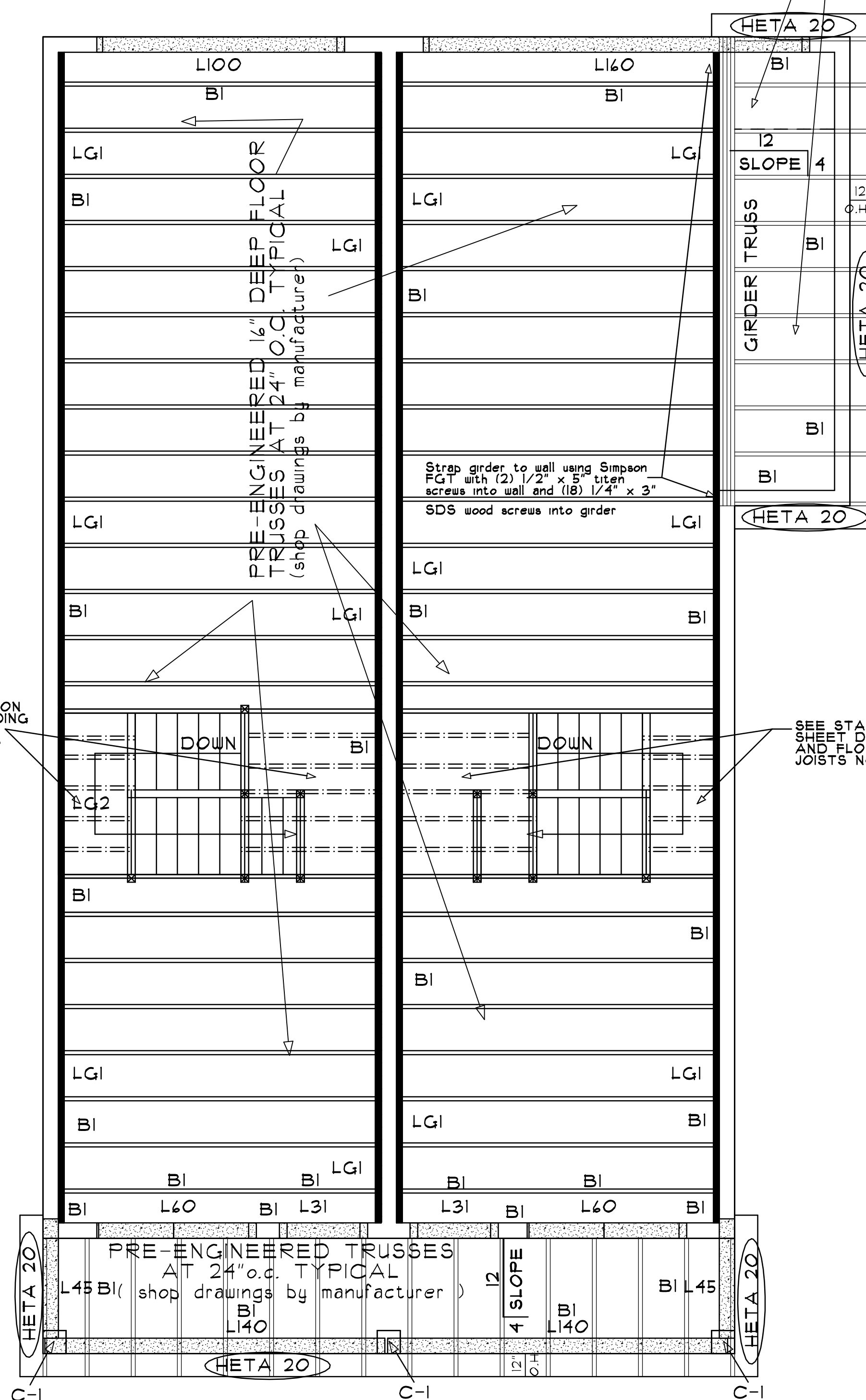
SHEET NO: 3
OF 9
JOB NUMBER: 24-117

STATE OF FLORIDA
DANIEL R. BRADEN
REGISTERED ARCHITECT
AR 9770

ADDRESS: Ellendale Street, PCN 37-38-41-007-092-00090-7 LOTS 9 & 11



PRE-ENGINEERED TRUSSES
AT 24"o.c. TYPICAL
(shop drawings by manufacturer)



Scale: $1/4" = 1'-0"$

TYPICAL NOTES:

- ALL Plywood sub-flooring to be saturated w/ Thompson's water seal immediately after installation for leak protection.
- Truss shop drawings to be provided by manufacturer
- Any changes to this plan shall be submitted to the architect for approval in writing prior to starting construction.
- ALL TRUSS TO TRUSS CONNECTIONS BY TRUSS MANUFACTURER
- Architect to review Truss Shop Drawings Prior to construction for layout and uplift verification
- Provide fire stop blocking at all floor trusses dividing the floor area into 500 sq. ft. (Max.) spaces

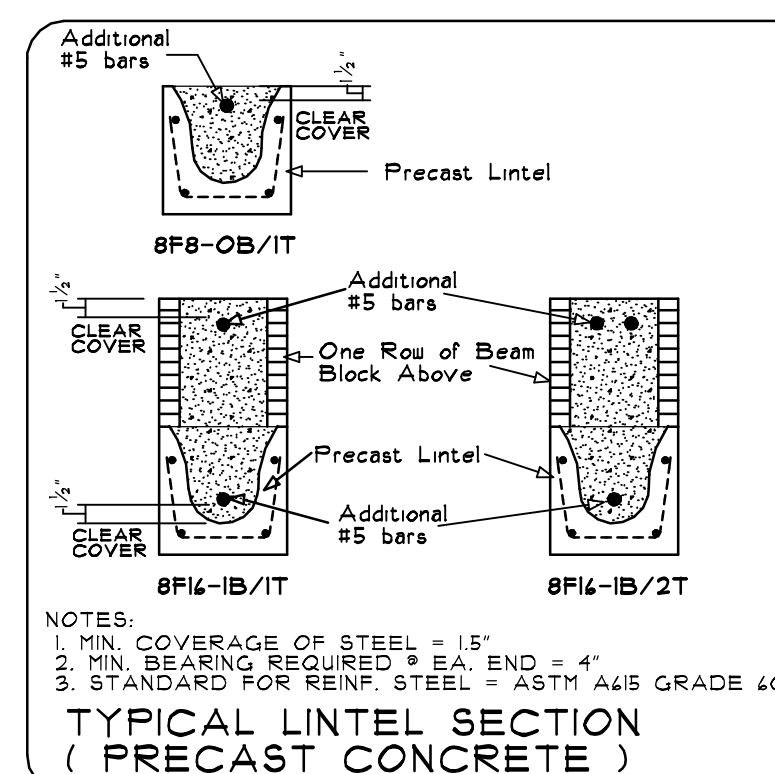
LEDGER SCHEDULE	
Mark	Size and Description
LG1	(2) 2" x 10" PT ledger bolted to wall with (2) 5/8" dia. expansion anchors at 24" o.c. staggered with min. 6" embedment into wall
LG2	(2) 2" x 8" PT ledger bolted to wall with 5/8" dia. expansion anchors at 24" o.c. staggered with min. 6" embedment into wall

[illegible]

Scale $1/4" = 1'-0"$

TYPICAL ROOF NOTES:

- Overhangs shall be 2'-0" unless otherwise noted on this sheet
- Roof pitch shall be 4:12 unless otherwise noted on this sheet
- Truss shop drawings to be provided by manufacturer
- Any changes to this plan shall be submitted to the architect for approval in writing prior to starting construction.
- ALL TRUSS TO TRUSS CONNECTIONS BY TRUSS MANUFACTURER
- Architect to review Truss Shop Drawings Prior to construction for layout and uplift verification
- Contractor to provide for Form Board Survey and to provide Form Board Survey to Truss Company prior to truss construction
- Contractor to provide the Architect with truss shop drawings including ALL truss cut sheets showing ALL truss reactions prior to START OF FOUNDATION WORK for strap and footing size verification.
- TRUSS DEFLECTION SHALL NOT EXCEED 0.5" ON ANY TRUSS.



Lintel Length	Bar Length	Clear Span	"A" Bars	"B" Bars
2'-10"	2'-8"	1'-6"	2.#3	none
3'-6"	3'-4"	2'-2"	2.#3	none
4'-0"	3'-10"	2'-8"	2.#3	none
4'-6"	4'-4"	3'-2"	2.#3	none
5'-4"	5'-2"	4'-0"	2.#3	none
5'-10"	5'-8"	4'-6"	2.#4	none
6'-6"	6'-4"	5'-2"	2.#4	none
7'-6"	7'-10"	6'-2"	2.#5	none
8'-4"	7'-10"	7'-0"	2.#5	none

ALL reinforcing steel is grade 60.

LINTEL SCHEDULE

Mark	Window or Door Unit Width	Lintel Size	Cast-Crete Specification	Pre-Stressed	Row of BM Above (8"x6")	Bottom Steel	Size	Top Steel	Size	Max. Gravity Load (F ₁)	Max. Uplift Load (F ₂)	Max. Lateral Load (F ₃)
L20	2'-2 1/2"	2'-10"	8F8-OB/IT	NO	---	---	---	I	#5	3049	1549	1642
L31	2'-2 1/2"	3'-9"	8F8-OB/IT	NO	---	---	---	I	#5	2561	1363	163
L45	4'-5"	5'-1"	8F8-OB/IT	NO	---	---	---	I	#5	1349	1016	411
L50	5'-0"	5'-8"	8F8-OB/IT	NO	---	---	---	I	#5	1105	909	339
L60	6'-8"	6'-8"	8F8-OB/IT	NO	---	---	---	I	#10	1011	721	534
L70	7'-0"	7'-0"	8F8-OB/IT	NO	---	---	---	I	#5	1011	721	534
L80	8'-0"	8'-8"	8F8-OB/IT	NO	---	---	---	I	#5	699	591	512
L90	9'-0"	9'-8"	8F8-OB/IT	NO	---	---	---	I	#5	535	530	401
L100	10'-0"	10'-8"	8F8-OB/IT	NO	---	---	---	I	#5	582	414	452
L110	10'-0"	11'-8"	8F14-IB/IT	NO	ONE	I	#5	I	#5	1254	470	402
L120	12'-0"	12'-8"	8F14-IB/IT	NO	ONE	I	#5	I	#5	1015	604	324
L140	14'-0"	14'-8"	8F14-IB/IT	YES	ONE	I	#5	I	#5	1370	519	284
L160	16'-0"	17'-8"	8F14-IB/IT	YES	ONE	I	#5	I	#5	950	404	25

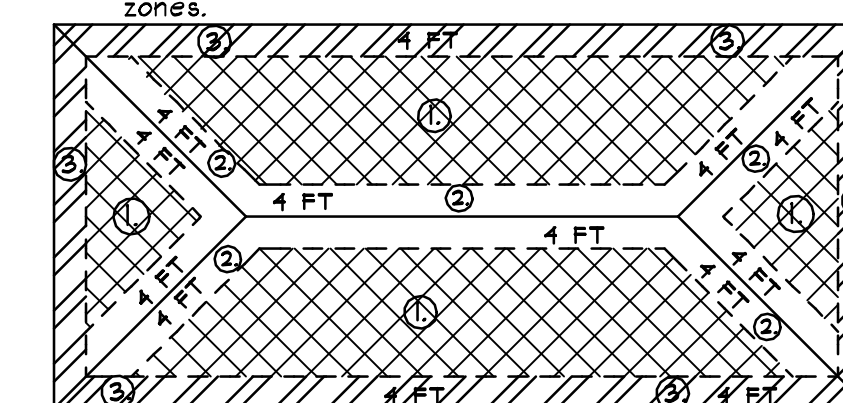
- ALL LINTELS SHALL BE MADE BY CAST-CRETE.
- LINTELS SHALL BE FILLED SOLID WITH 3000 PSI CONCRETE
- REFER TO CAST-CRETE CATALOG FOR ALL INFORMATION REGARDING LINTEL CONSTRUCTION, HANDLING INFORMATION, AND SAFE LOAD REQ. REQUIREMENTS
- LINTELS OVER 13'-11" LONG ARE TO BE PRESTRESSED.
- CONTRACTOR TO VERIFY ALL LINTEL SIZES BASED ON FINAL MASONRY LAYOUT AND ADJUST LINTELS ACCORDINGLY PRIOR TO ORDERING ANY/ALL LINTELS.





BEAM SCHEDULE

Mark	Size and Description
B1	Two rows of beam block filled with concrete and (1) #5 bar continuous in each row. Provide precast lintel filled with concrete and (1) #5 bar per lintel schedule continuous over openings.
B2	(2) 2" x 12" SYP #2 Wood Beam

HIP ROOF SHEETING
ATTACHMENT DETAIL

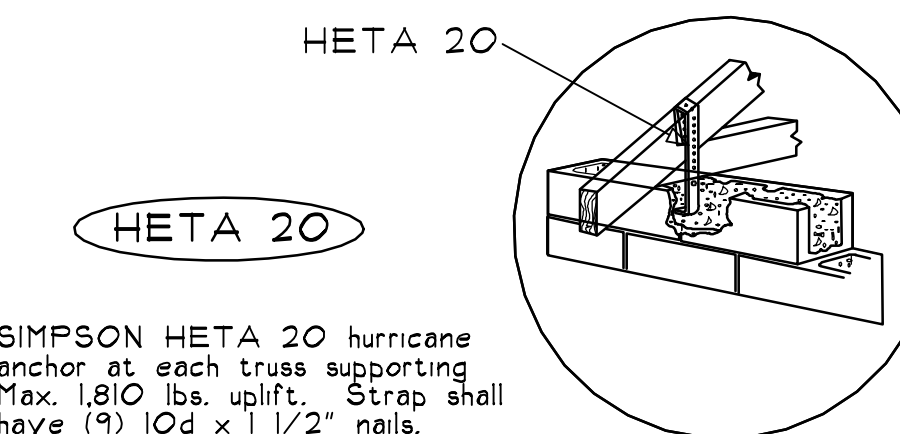
1. Minimum Nail Size = 8d angular ring shank (min. 2.5" long)
2. Minimum Screw Size = #8 x 2.5"
3. Minimum Sheathing Thickness 19/32" CDX Plywood
4. Use nails or screws based on pressure for roof stated in permit info box on these plans for appropriate roof zones.



Key	Area	Edge	Field	Fastener	Max. Pressure
	Zone 1	6"	6"	8d x 2.5" ring shank	45 psf
	Zone 2	4"	6"	8d x 2.5" ring shank	76 psf
	Zone 3	4"	4"	8d x 2.5" ring shank	84 psf
	Any Zone	6"	6"	#8 x 2.5" Screw	263 psf

ALL ROOF NAILS SHALL BE ASTM F1667 RSR-S-03 NAILS
AND SHALL BE GALVANIZED - STAINLESS FASTENERS
REQUIRED ON ALL LOTS WITH WATERFRONTAGE

STRAPPING SCHEDULE



SIMPSON HETA 20 hurricane anchor at each truss supporting Max. 1,810 lbs. uplift. Strap shall have (9) 10d x 1 1/2" nails.

Revisions :

Date Drawn:

6-7-24
Drawn by:
C.C.U.

Checked by:
D.R.B.

Townhomes Right Garage For:

KRO Rivers Properties LLC

West Building

ADDRESS: Ellendale Street, PCN 37-38-4|-007-092-00090-7 LOTS 9 & 11

Braden & Braden AIA, PA

Bladen AIA, Inc.
ARCHITECTS - PLANNERS
417 S.E. COCONUT AVENUE

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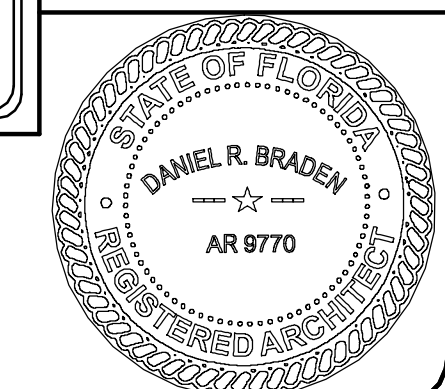
SHEET NO:

4.

OF

JOB NUMBER:

24-117

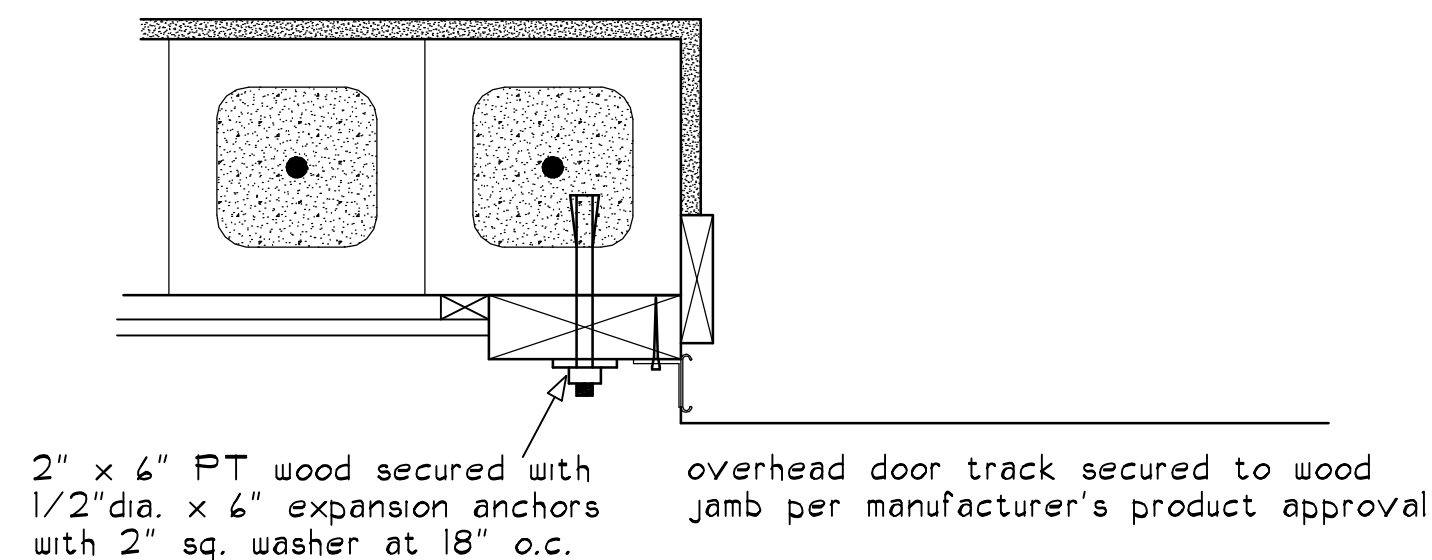




NTS



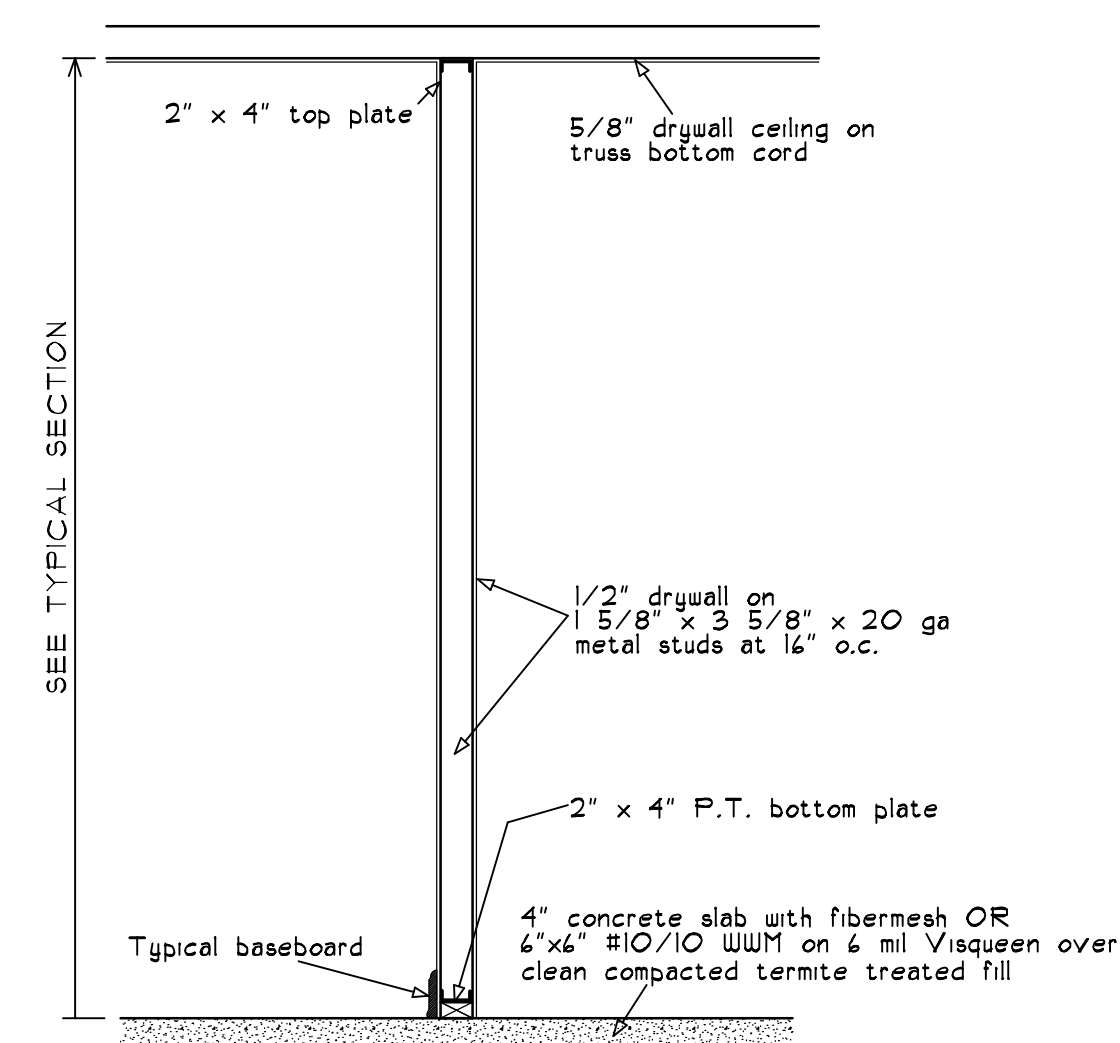
NTS



ALL GARAGE DOORS AS SPECIFIED IN PRODUCT
APPROVAL ON THESE PLANS. DOORS TO MEET
WIND PRESSURE STATED IN PERMIT INFO BOX ON
THESE PLANS

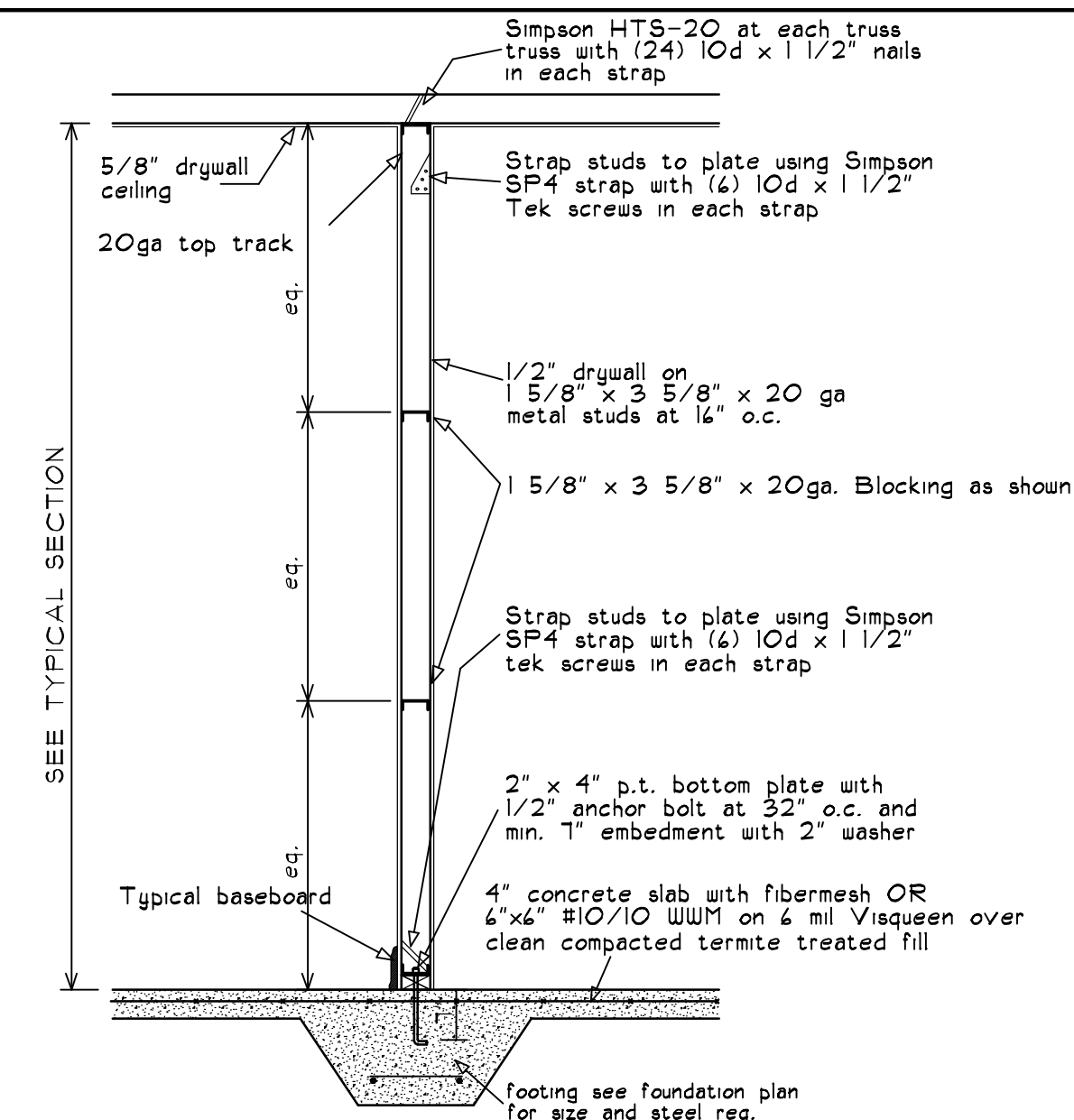
Garage Door Jamb Detail

NTS



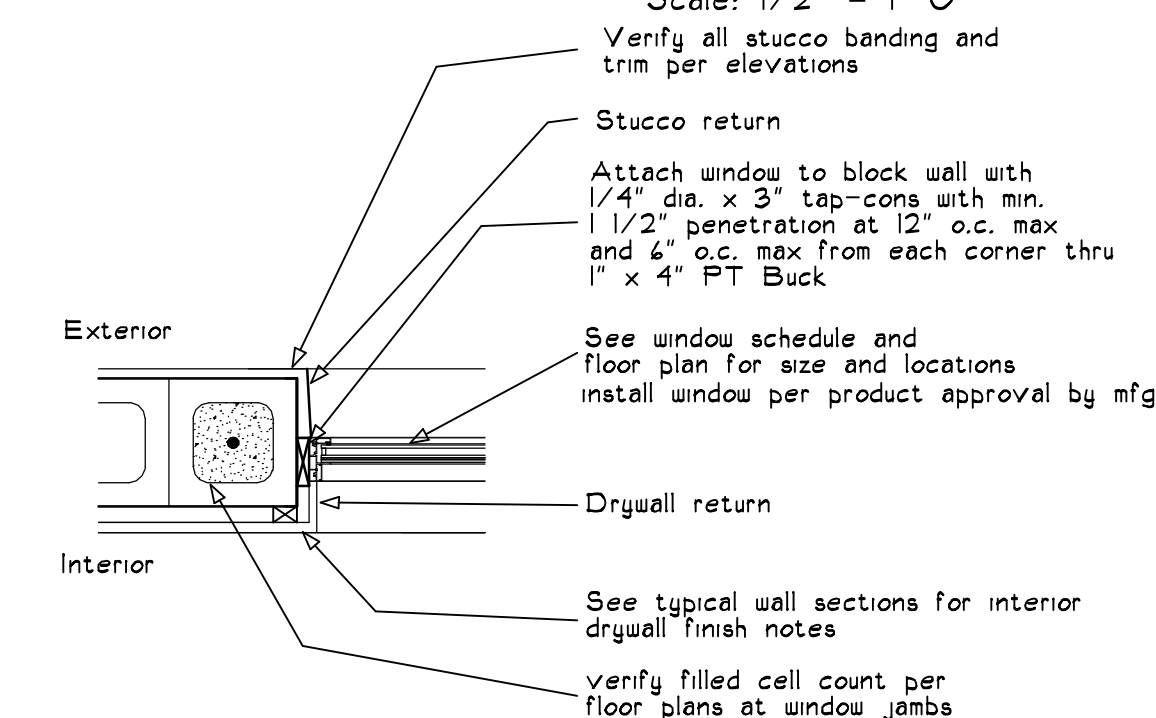
Typical Interior Non-bearing Partition

Scale: $1/2" = 1'-0"$



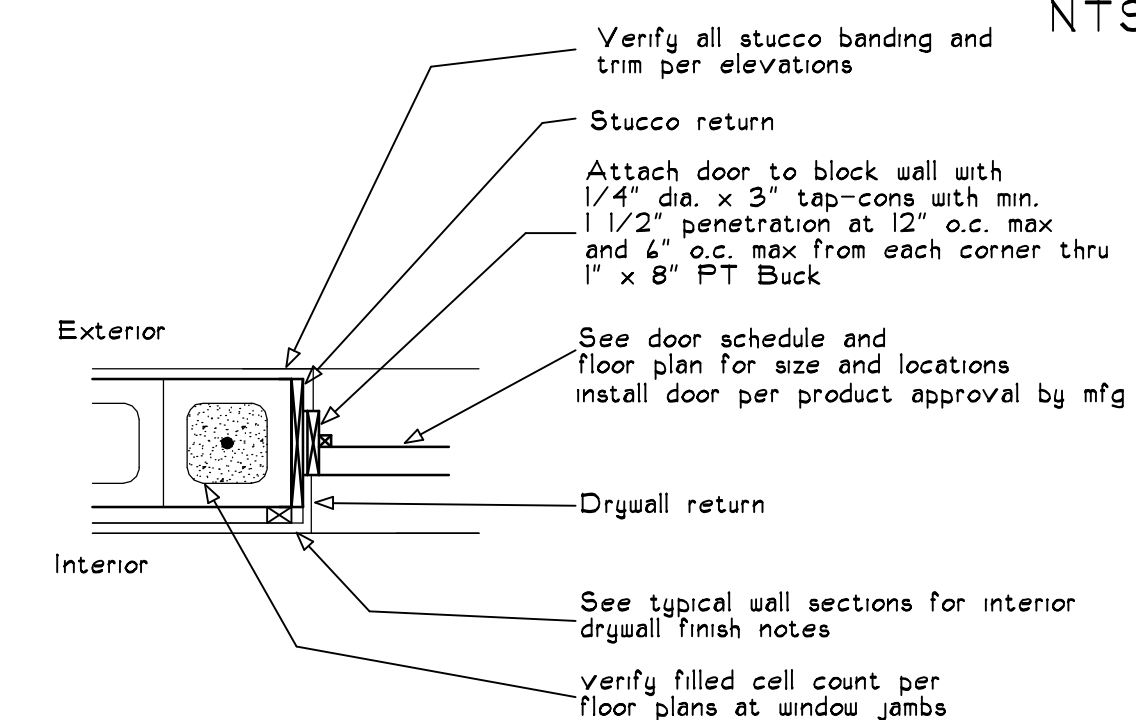
Typical Interior Bearing Partition

Scale: $1/2" = 1'-0"$



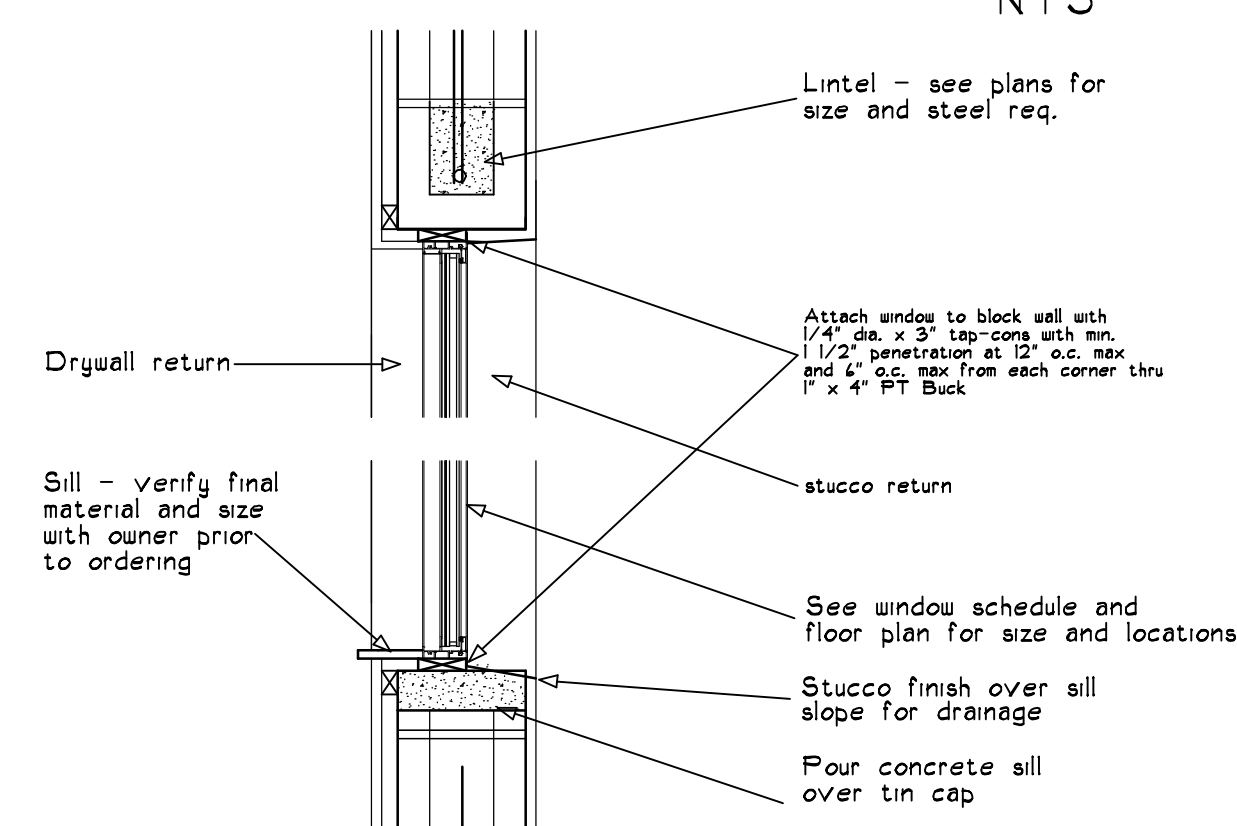
Window Jamb Detail

NTS



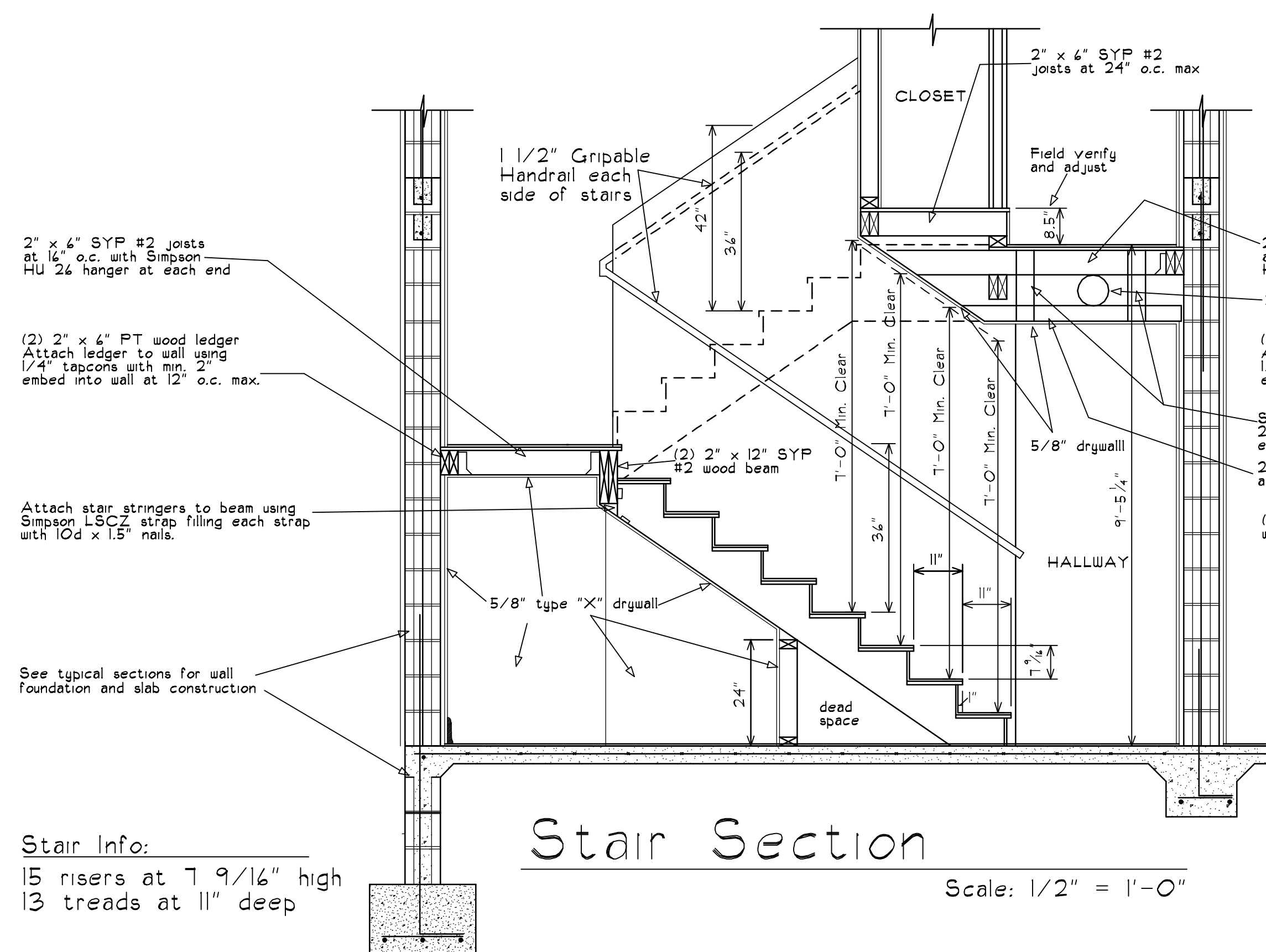
Exterior Door Jamb Detail

NTS



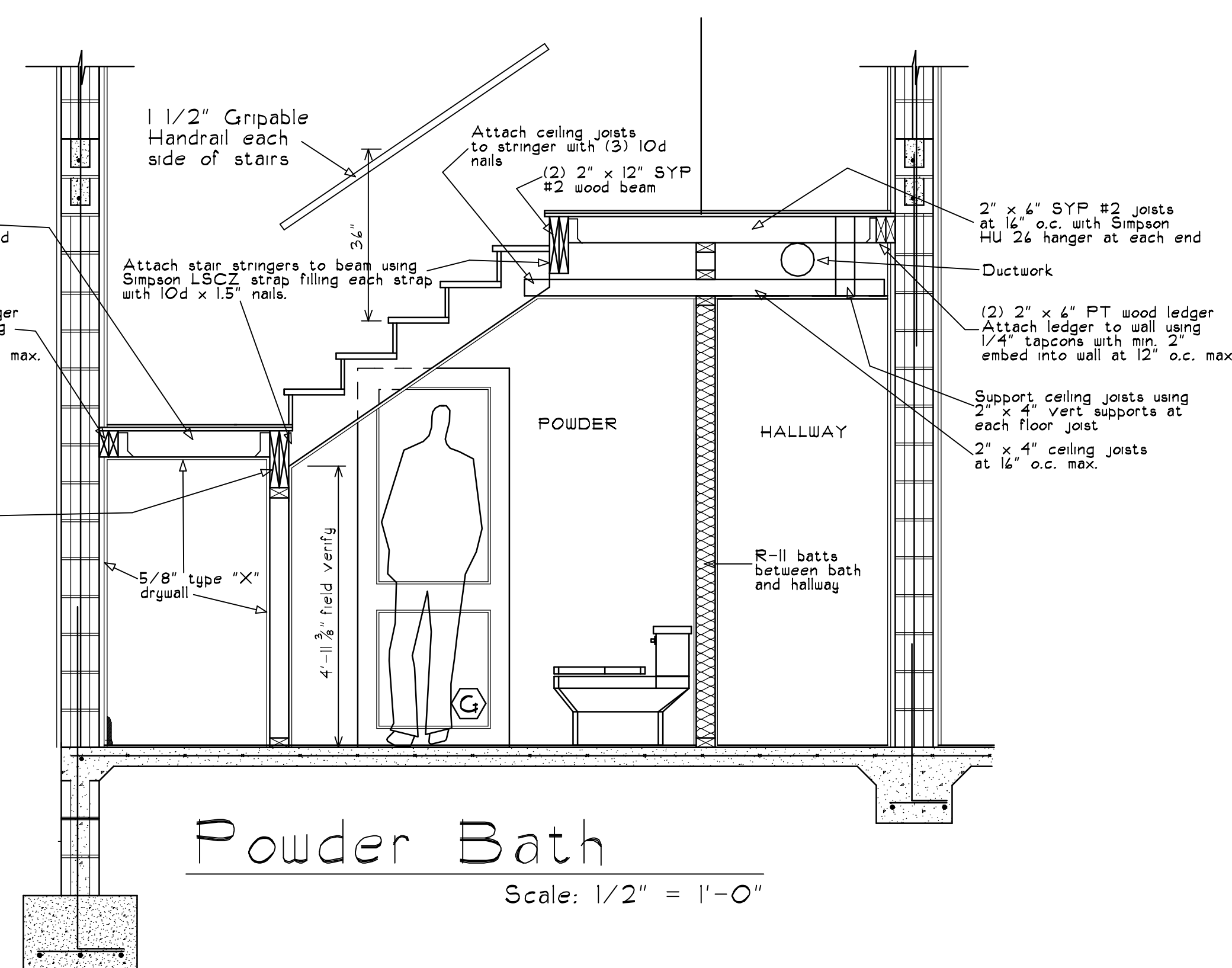
Section @ Window Head & Sill

NTS



Stair Section

Scale: $1/2'' = 1'-0''$



Powder Bath

Scale: $1/2" = 1'-0"$

Seal ALL concrete block jams prior to buck per FBC R103.4 using any approved sealant

VERIFY ALL SILL MATERIAL
WITH OWNER PRIOR TO ORDERING.

VERIFY ALL ROUGH OPENING
SIZES WITH THEIR RESPECTIVE
MANUFACTURER PRIOR TO
INSTALLING MASONRY

Revisions :

Date Drawn:

6-7-24
Drawn by:
C.C.U.

Townhomes Right Garage For:

KRO Rivers Properties LLC

West Building

ADDRESS: Ellendale Street, PCN 3T-38-4-00T-092-00090-7 LOTS 9 & 11

Braden & Braden ALA, PA

STAGG, RAY, & ASSOCIATES, INC.
ARCHITECTS - PLANNERS
417 S.E. COCONUT AVENUE

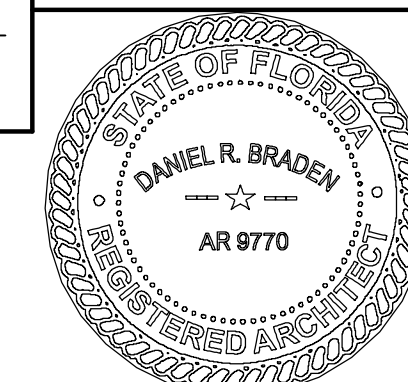
Tel : (712) 281-8258
Fax : (712) 281-8283
Website: www.bradenarchitects.com

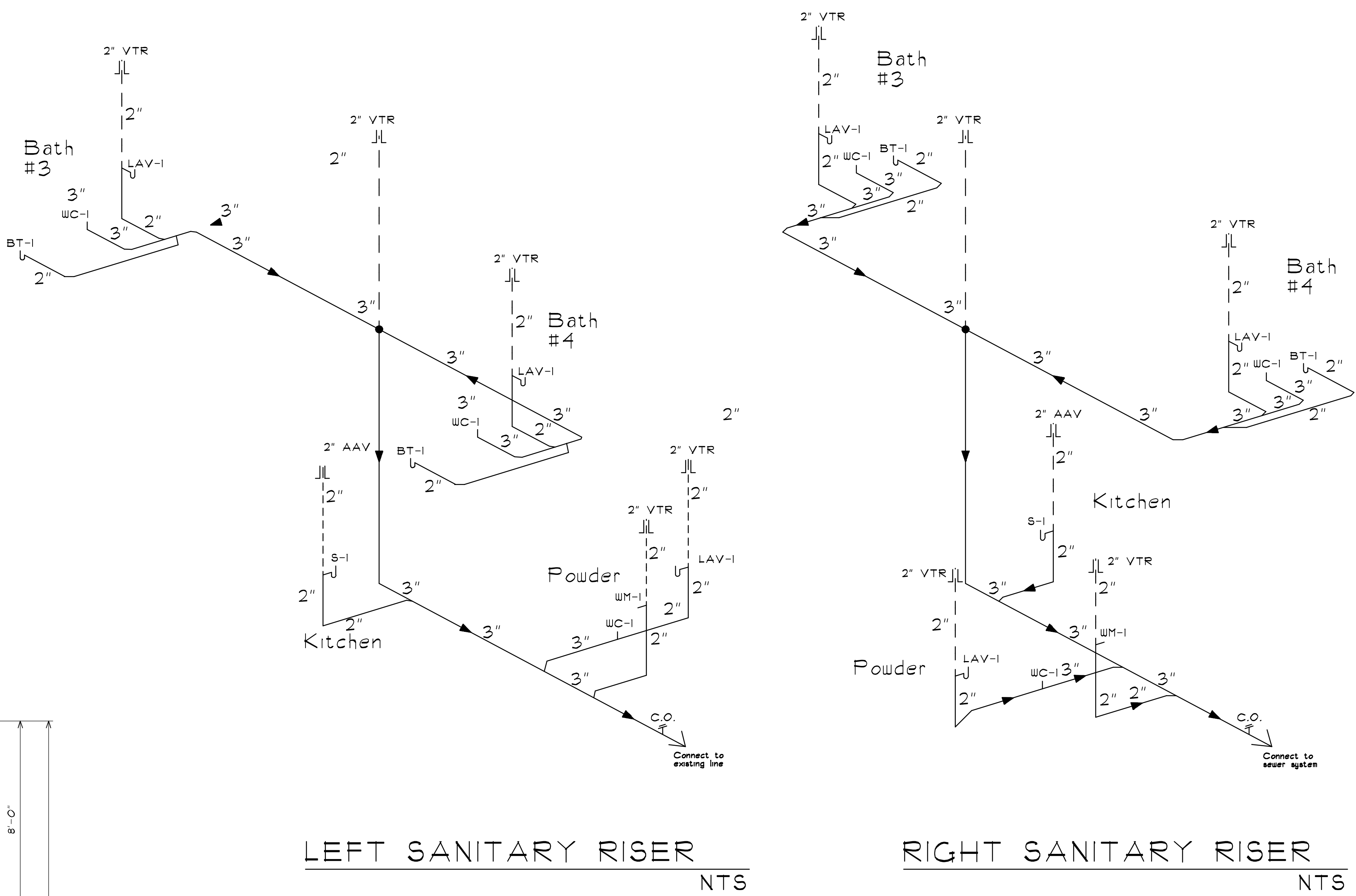
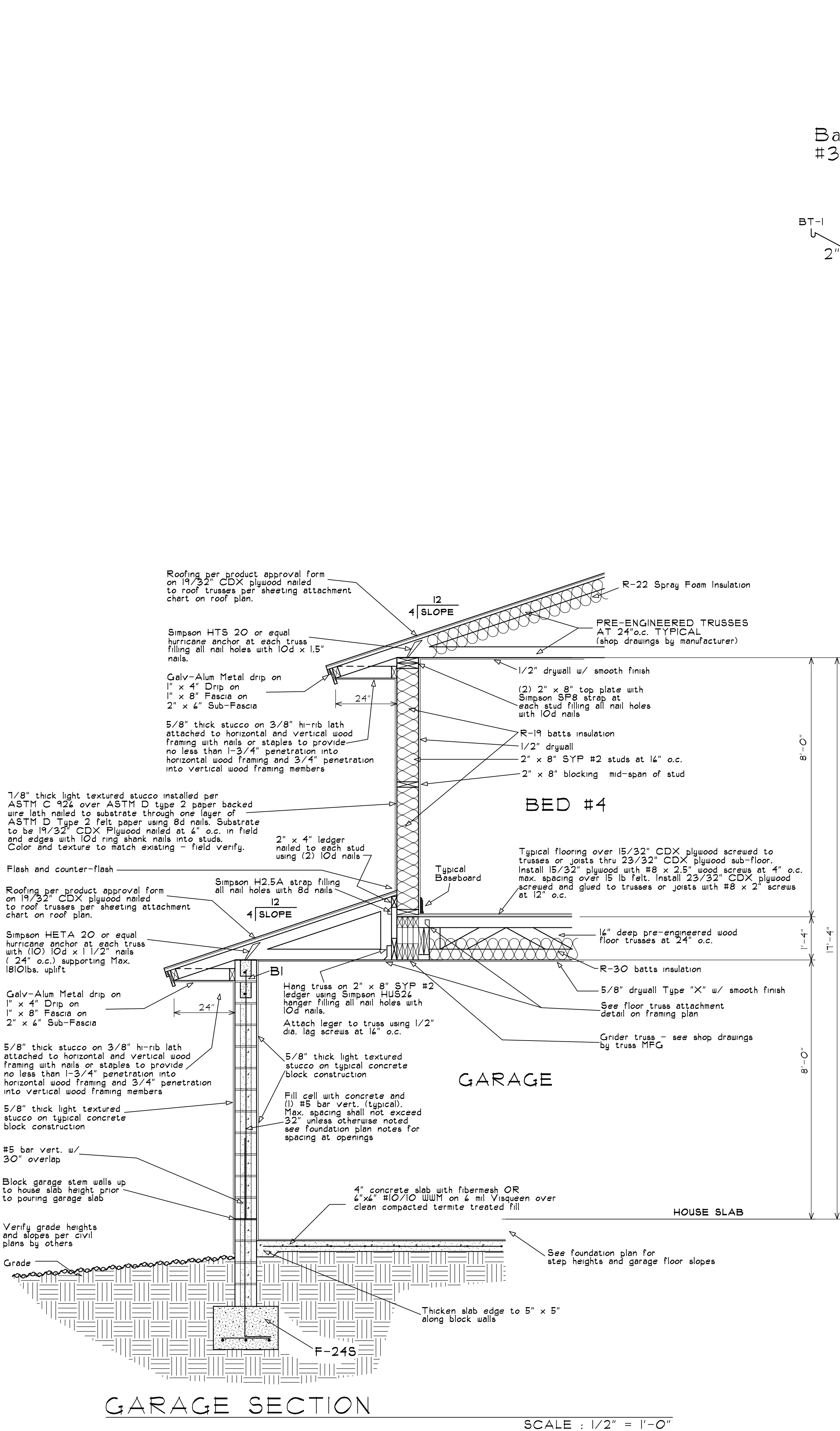
Stuart, FL 34996 #AAC000032
website: www.bjquest.com/collectors.com

SHEET NO:

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OF 9.

JOB NUMBER:
24-117





Sanitary Riser Legend			
	Sanitary line		Bath Tub "P" trap
	Vent Line		Shower "P" trap
	Lavatory Trap		Washing Machine Drain
	Sink Trap		Urinal
	Water Closet		Water Fountain Drain
	Floor Drain		Grinder Pump
	Clean Out		2" Vent thru Roof
	2" Vent thru wall		Pipe Diameter Designation (2" dia)

NOTES:
- ALL sanitary pipe to be Schedule 40 PVC
- Slope shall be no less than 1/8" per foot and no more than 1/4" per foot

Revisions :
Date Drawn: 6-1-24
Drawn by: C.C.U.
Checked by: D.R.B.

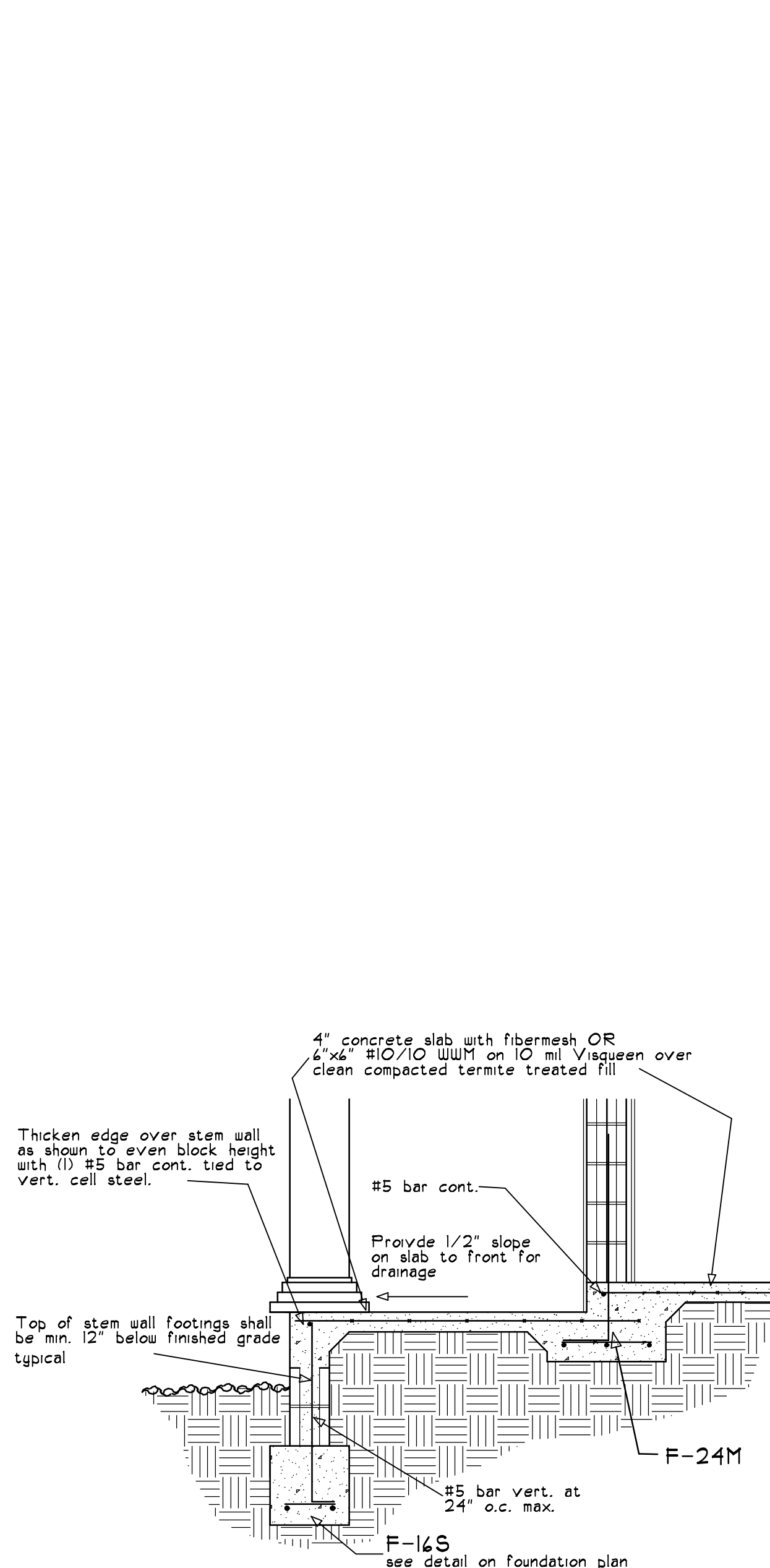
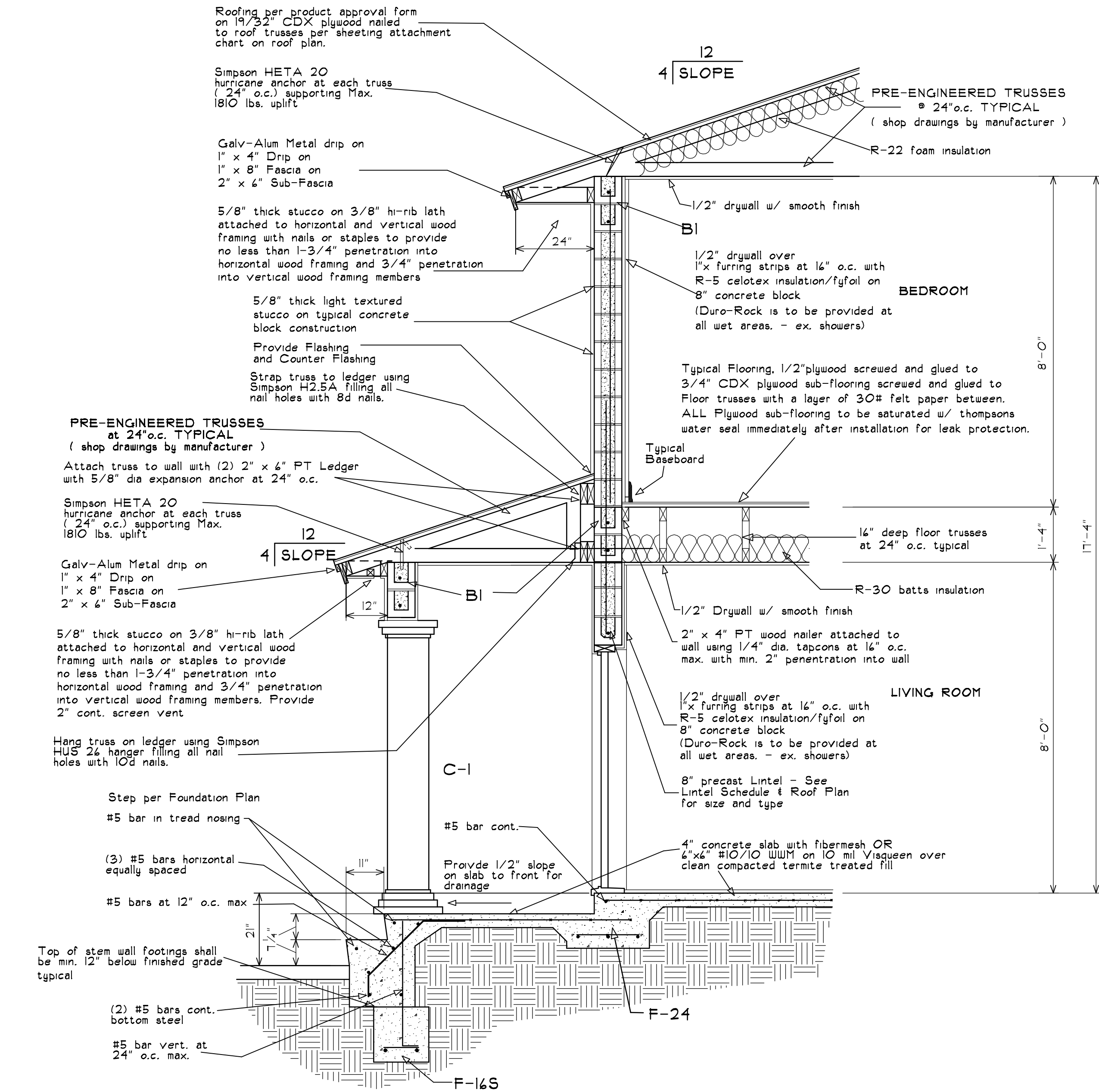
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West Building

ADDRESS: Ellendale Street, PCN 3T-38-41-00T-092-00090-7 LOTS 9 & 11

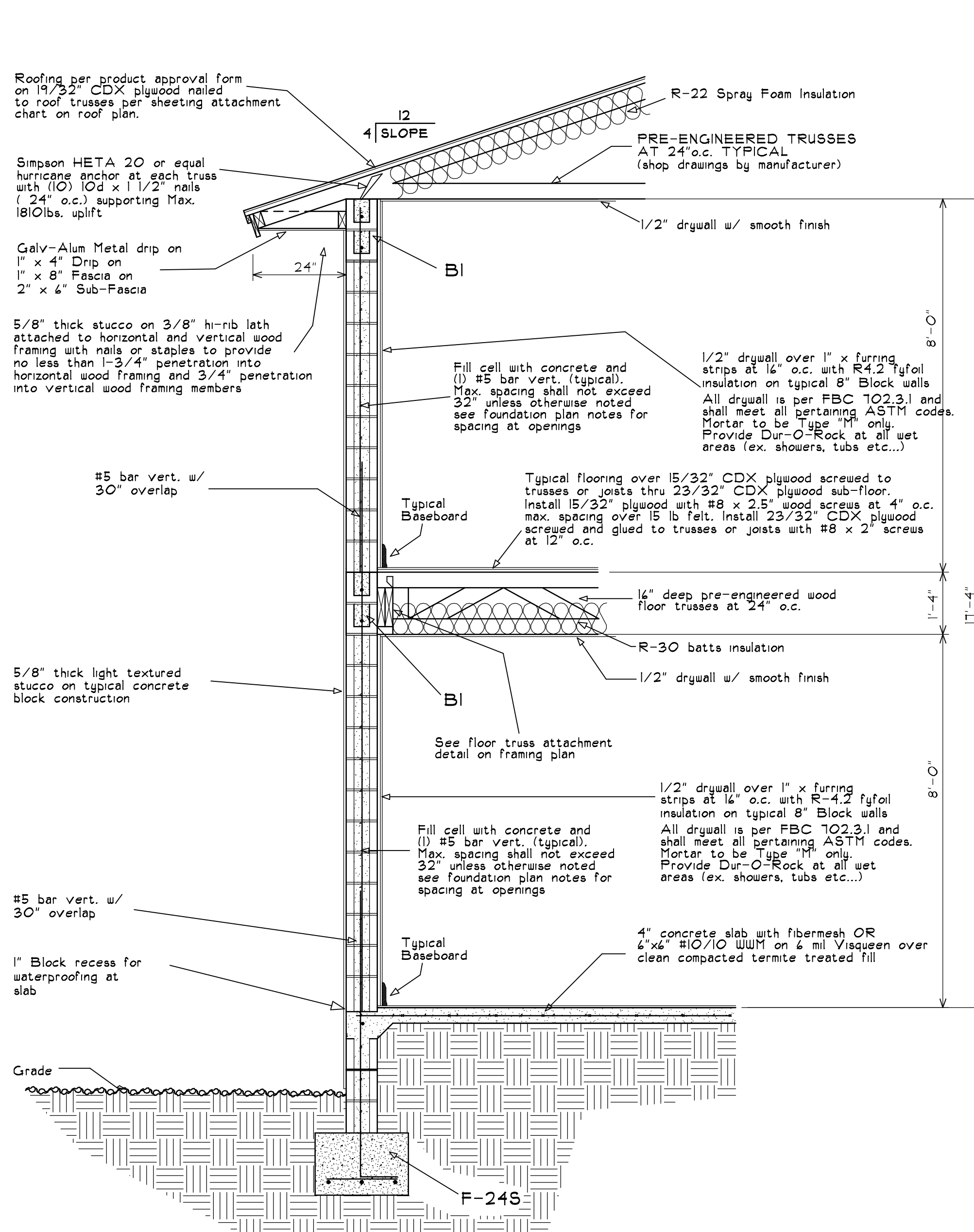
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SHEET NO:
D-2
OF 9.

JOB NUMBER:
24-117



FRONT PORCH FOUNDATION SECTION.



TYPICAL SECTION

TYPICAL SECTION AT FRONT PORCH

Scale : 1/2" = 1'-0"

SCALE : 1/2" = 1'-0"

Product Approval Submittal Affidavit

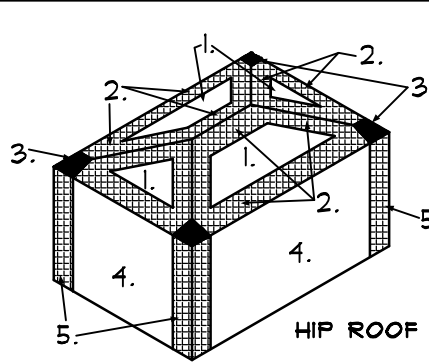
Opening Schedule Swing Doors, Overhead Doors, Sliding Doors, Windows & Skylights							
Opening Type	NOA/FL NUMBER	Product	Model #	Manufacturer	Glass	Attachment method	TEST Expiration Date
1.	FL# 239.4	Single Hung	SH-100 Impact	PGT	5/16"	1/4" dia. tapcons w/ min. 1 3/8" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in Product approval	_____
2.	FL# 243.8	Fixed Glass	PW-1120A Impact	PGT	1/16"	1/4" dia. tapcons w/ min. 1 1/4" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in Product approval	_____
3.	FL# 20468.3	Fiberglass French Door	FiberClassic Opaque	Therma-Tru	_____	1/4" dia. tapcons w/ min. 1 1/4" penetration to be spaced per product approval. Contractor shall adhere to min. edge distances specified in Product approval	_____
4.	FL# 16546.4	Sectional Garage Door	2in Steel Pan W6 DP38	Clopay	_____	Install per product approval including jamb supplement and manufacturers recommendations. See buck detail on these plans for buck installation. Must have center post see approval.	_____
Product	NOA/FL NUMBER	Model #	Manufacturer	Attachment Method	TEST Expiration Date	Maximum Design Pressure of Approved Tests	
Mullions	FL# 261.1	1" x 2 3/4" x .315"	PGT	Install per fastener type and spacings shown in Table 1A and 1B in product approval on sheet 5 of 22.	_____	+ 80.0 PSF	
Roof	FL# 11175.1	5V Crimp Metal 24 ga.	Southeastern Metals	Southeastern Metals 5v Crimp Roofing installed per approval over Polyglass peel and stick underlayment over 19/32" CDX sheathing nailed to trusses per nailing pattern detail on roof plan	_____	-71.0 psf Field and perimeter. -93.5 psf corner	
Siding	_____	STUCCO ON BLOCK	_____	5/8" Thick light textured stucco on typical Concrete block construction	_____	_____	
	FL# 13192.2	Hardi-Plank	James Hardie Building Products	1/2" thick stucco on 3/8" Hi-Rib lath attached to Nail 1 1/2" Hard-plank siding to block wall using 0.14" x .0300" HD x 1 1/2" long nails at 16" o.c. horizontal face nailed	_____	-115.1 PSF	
Soffit	_____	STUCCO ON LATH	_____	horizontal and vertical wood framing with nails or staples to provide no less than 1 3/4" penetration into horizontal wood framing and 3/4" penetration into vertical framing	_____	_____	
Under-layment	FL# 5259.1	Polystick TU Plus Self-adhered Underlayment	Polyglass USA	Self adhered roofing underlayment installed per MFG's recommendations and Installation #5	_____	- 135.0 psf ALL Zones	

ALL Product Testing by: Miami-Dade County Building Code Compliance Office / Product Control Division

I have reviewed the above and approved it by my seal below. (Architect or Engineer of Record)

PERMITTING INFORMATION (FORM 100)

Florida Building Code Residential: 8th Ed 2023 and ASCE 7-22 for Wind Loading
 Building Design is: Enclosed Risk Category: II Wind Speed: 160 mph ultimate
 Mean Roof Height: 25'-0" Roof Pitch: 4:12 (7°-20°)
 Internal Pressure Coefficient: ±0.18
 Subjectability to damage from: Weathering: Negligible Termites: Very Heavy
 Width of Roof End Zone: 4'-0"
 Wind Exposure Classification: B
 Adjustment factor for Exposure Height Using Allowable Stress Design and Load Combination per ASCE 7-22 Section 2.4 (2a).DL+LL; (5a). DL+0.6W; (7a). 0.6DL+0.6W shall be used where applicable.
 Exp Height Adj Factor: 0.82 applied below
 HIP ROOF Components & Cladding Wind Pressure (NET)
 Roof Zone: 1. +12.0/-27.0 psf
 Roof Zone: 2 & 3 +2.0/-34.0 psf
 Components & Cladding Wall End Zone Width: 3'-0"
 Components & Cladding Wind Pressure (NET) Wall Zone: 4. +16.0/-17.0 psf
 Wall Zone: 5. +16.0/-21.0 psf
 Components & Cladding Wind Pressure (NET) on Garage Door:
 Zone 5 = 16'-0" x 7'-0" GD = +14.0/-17.0 PSF
 Shear Walls Considered for Structure? Yes
 Continuous Load Path Provided? Yes
 Are Components on Cladding Details Provided? Yes
 Minimum Soil Bearing Pressure: 2,500 psi, Presumptive: X By Test: _____ psi
 This Building Shall Have the Following:
 APPROVED SHUTTERS: _____ IMPACT GLASS: X BOTH: _____ NEITHER: _____



- = Roof Zone 1 Walls Zone 4
- ▨ = Roof Zone 2E/2R Walls Zone 5
- = END ZONE
- = Corner Zones Roof Zone 3

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Checked by: D.R.B.

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West Building

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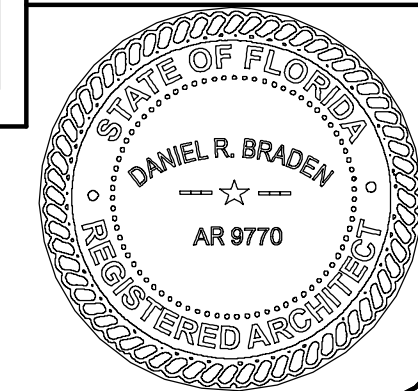
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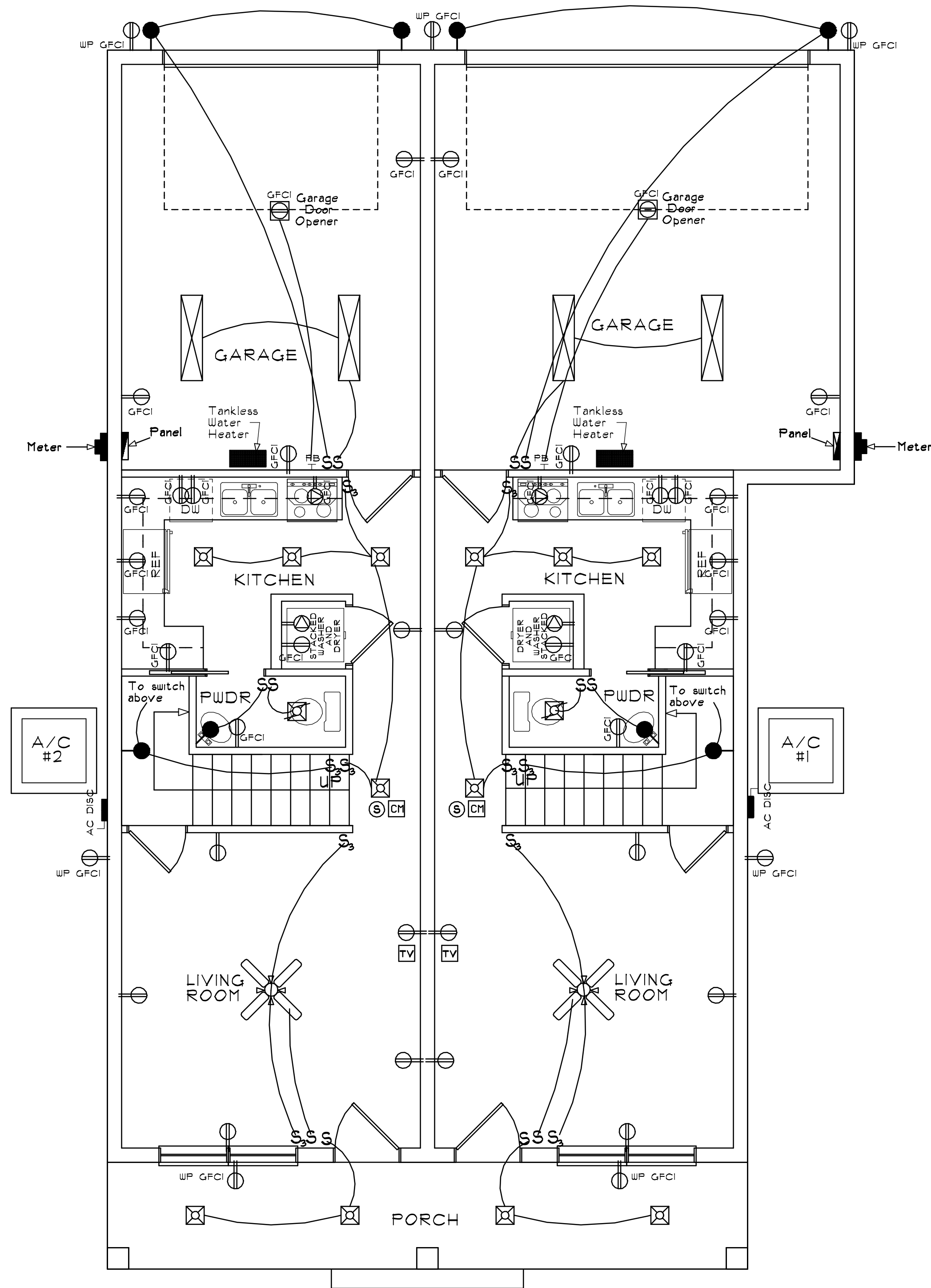
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OF 9.

JOB NUMBER:

24-117



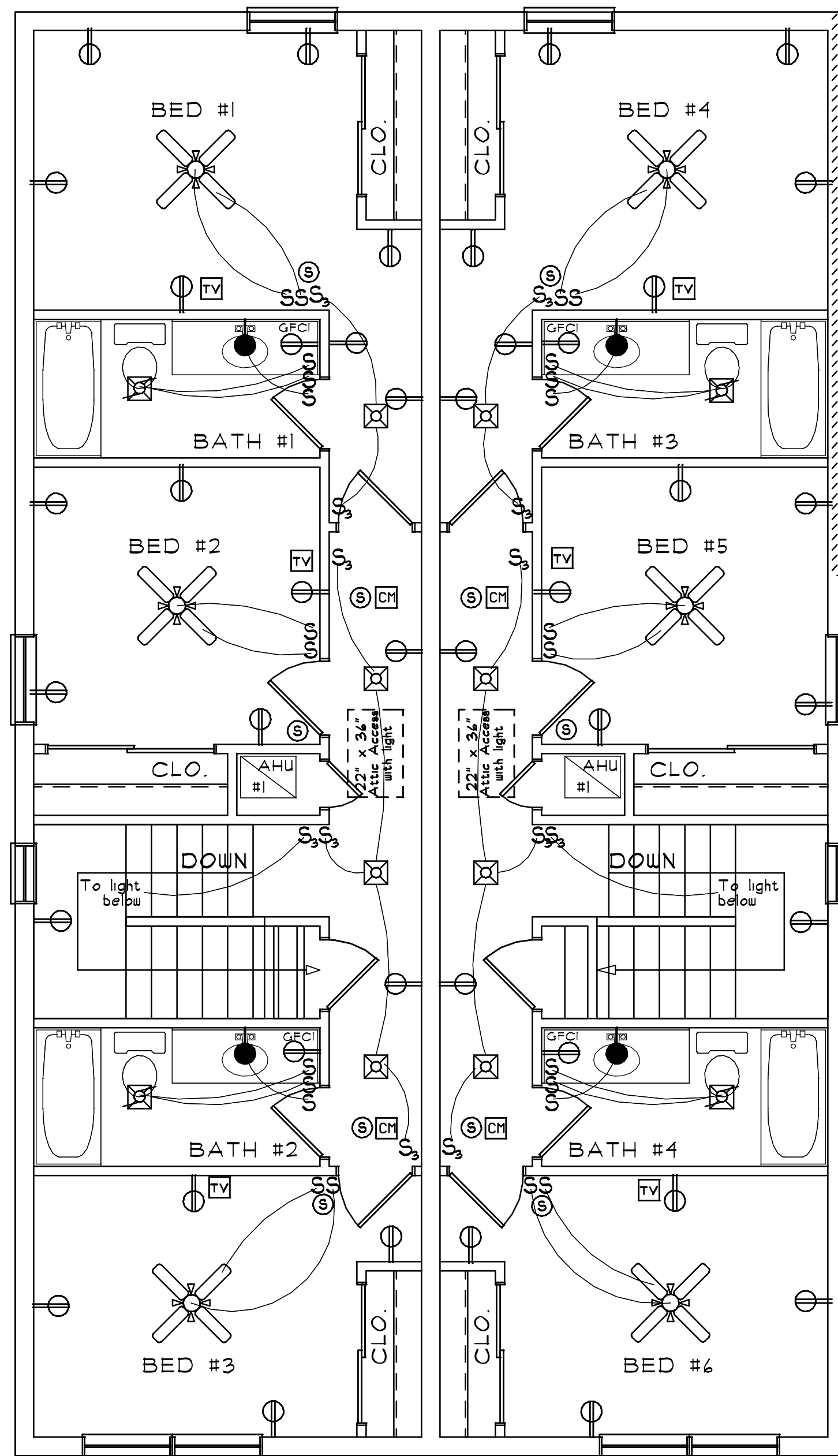


ELECTRIC PLAN

ELECTRIC NOTES:

1. Use copper wire only, no aluminum.
2. Provide and wire all required smoke detectors as noted below.
3. Contractor to verify location of electrical service and provide.
4. All recessed cans to be installed per NFPA requirements.
5. All branch circuits that supply 125V single phase 15 amp or 20 amp outlets shall be protected by combination-type AFCI Circuit Breakers.
6. ALL new receptacles to be Tamper resistant AFCI.
7. ALL bath and kitchen and garage receptacles to be GFCI protected.
8. ALL exterior outlets to be WP/GFCI protected.
9. Provide Disconnects at ALL appliances (water heater, A/C units, and ALL other equipment as required by N.E.C.)
10. Smoke Alarms shall be installed in the following locations per FBC R314.3:
 - a) In each sleeping room.
 - b) Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - c) On each additional story of the dwelling.
 - d) ALL Smoke Alarms shall be interconnected and hardwired per FBC R314.4
11. IF A FUEL SOURCE OR GARAGE PRESENT, Carbon monoxide detectors shall be provided on the outside of each sleeping area and can be a combination unit with the smoke detector.
12. AHU Shall have a means of disconnect compliant with NEC 440.14

SCALE: 1/4" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN

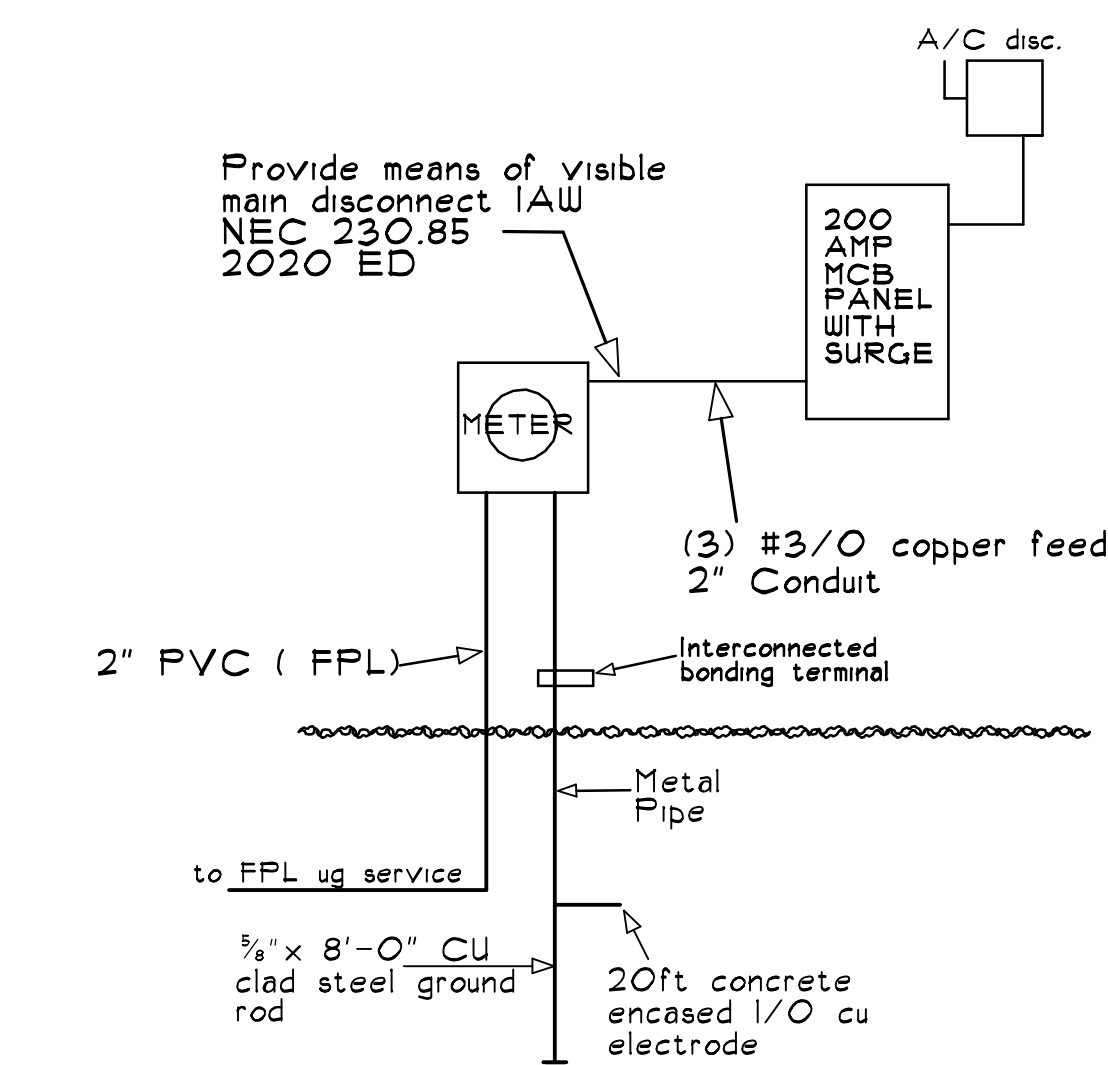
SCALE: 1/4" = 1'-0"

Electrical Symbol Legend			
S	Single Pole Switch	⊠	Recessed Can Light
S ₂	Double Pole Switch	⊠	Eyeball Recessed Can Light
S ₃	Dimmer Switch	⊠	Exhaust Fan
⊠	Push Button Switch	⊠	Ceiling Mounted Light (Fan JB)
⊠	Duplex Outlet	⊠	Pendant Light
⊠	Special Receptacle	⊠	Wall Mounted Light
⊠	Water Proof, GRND fault cir. interrupter	⊠	Computer Connection Jack
⊠	Floor Duplex Outlet	⊠	Flood Light
⊠	Junction Box	⊠	Electrical Panel
⊠	Thermostat	⊠	Electrical Meter
⊠	Central Vac	⊠	A/C Disconnect
⊠	Light with Pull Chain (attic)	⊠	Ceiling Fan with Light Kit
⊠	Television Jack	⊠	Ceiling Fan
⊠	Telephone Jack	⊠	Ceiling Mounted Light Dome Style
⊠	1 x 4 LED Light	⊠	Motion Detector (closet light)
⊠	Speaker Hook-Up	⊠	2 x 4 LED Light
⊠	Smoke Detector		
⊠	Carbon Monoxide Detector		

ALL LIGHTING TO BE LED

TYPICAL UNIT ELECTRICAL PANEL											
Poles	BR	Load	Wire	Description	Circ#	Circ#	Description	Wire	Load	BR	Poles
2	40	1.0 kw	#8	A/C comp	1	2	Surge Protection		25 kva		
					3	4					
2	30	24 kw	#6	Tankless Water HTR	5	6	AHU	#10	3.5 kw	30	2
					7	8					
					9	10	Range	#4	12.0 kw	50	2
					11	12					
					13	14	Stacked Washer & Dryer	#4	8.0 kw	30	2
					15	16					
1	20	1.8 kw	#12	Pump	17	18	Refrigerator	#12	1.2 kw	20	1
					19	20	Disposal	#12	1.0 kw	20	1
1	20	1.5 kw	#12	Range Hood	21	22	Kitchen S.A.C.	#12	1.5 kw	20	1
1	20	1.2 kw	#12	Dishwasher	23	24	General Lighting	#12		20	1
1	20	.81 kw	#12	Garage Door Opener	25	26	General Lighting	#12		20	1
1	20	.81 kw	#12	Kitchen S.A.C.	27	28	General Lighting	#12		20	1
1	20		#12	General Lighting	29	30	General Lighting	#12		20	1
1	20		#12	General Lighting	31	32	General Lighting	#12		20	1
1	20		#12	General Lighting	33	34	Bathroom GFI	#12		20	1
1	20		#12	General Lighting	35	36	Smoke Detector	#12		20	1
1	20		#12	Bathroom GFI	37	38	spare				
1	20		#12	Smoke Detector	39	40	spare				
1	20		#12	Landscape Lights	41	42	spare				

TYPICAL UNIT PANEL "A" LOAD CALCULATION SHEET			
Load Description	Qty.	Watts	Total(Watts)
General Lighting (3 watts sq. ft.)	1267	3	3,801
Small Appliance Circuit(s)	2	1,500	3,000
Range	1	12,000	12,000
Range Hood	1	1,100	1,100
Refrigerator	1	1,200	1,200
Dish Washer	1	1,200	1,200
Disposal	1	1,000	1,000
Stacked Washer & Dryer	1	8,000	8,000
Stacked Washer & Dryer	1	5,000	5,000
Insta Water Heater	1	24,000	24,000
Pump	1	1,800	1,800
Garage Door Opener	1	810	810
Total Watts			62,811
First 10000 Watts	@100%	1	10,000
Remainder	52,811 @40%	1	0
Electric Heat or A/C	@100%	1	10,000
Calculated Load	Watts	41,125	
	Voltage	240	
Calculated Wattage Divided by Voltage = Total Amps			171.3
Panel Size Required =			200Amps



ELECTRICAL RISER

NTS

GC TO VERIFY
A/C RATINGS FROM
UTILITY CO PRIOR
TO ORDERING ANY
EQUIPMENT/SWITCH GEAR

Revisions:

Date Drawn:

6-1-24

Drawn by:

C.C.U.

Checked by:

D.R.B.

Townhomes Right Garage For:

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West Building

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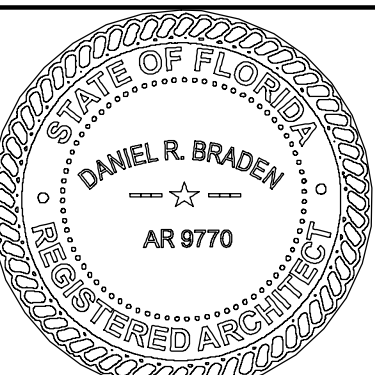
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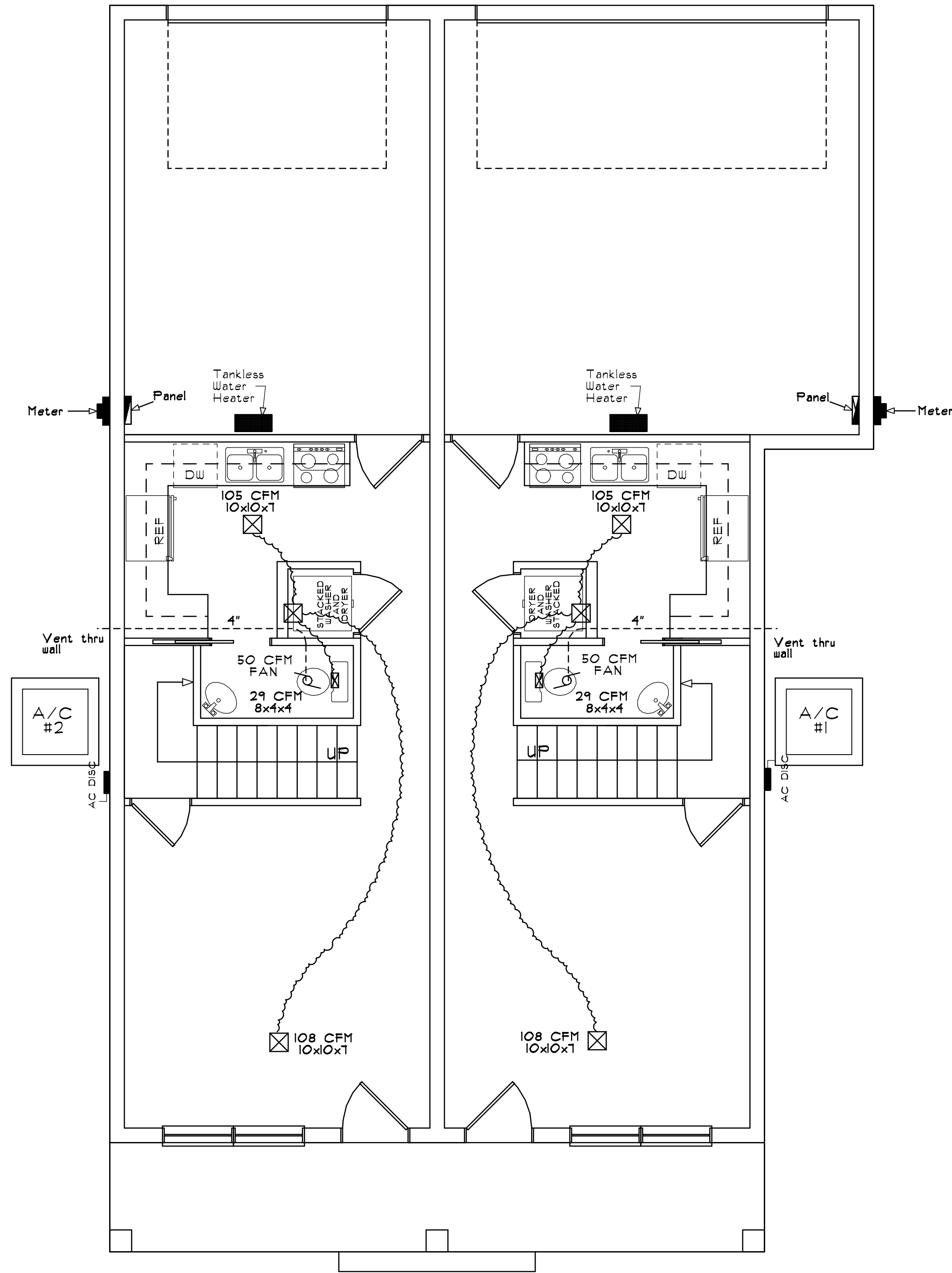
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OF 9.

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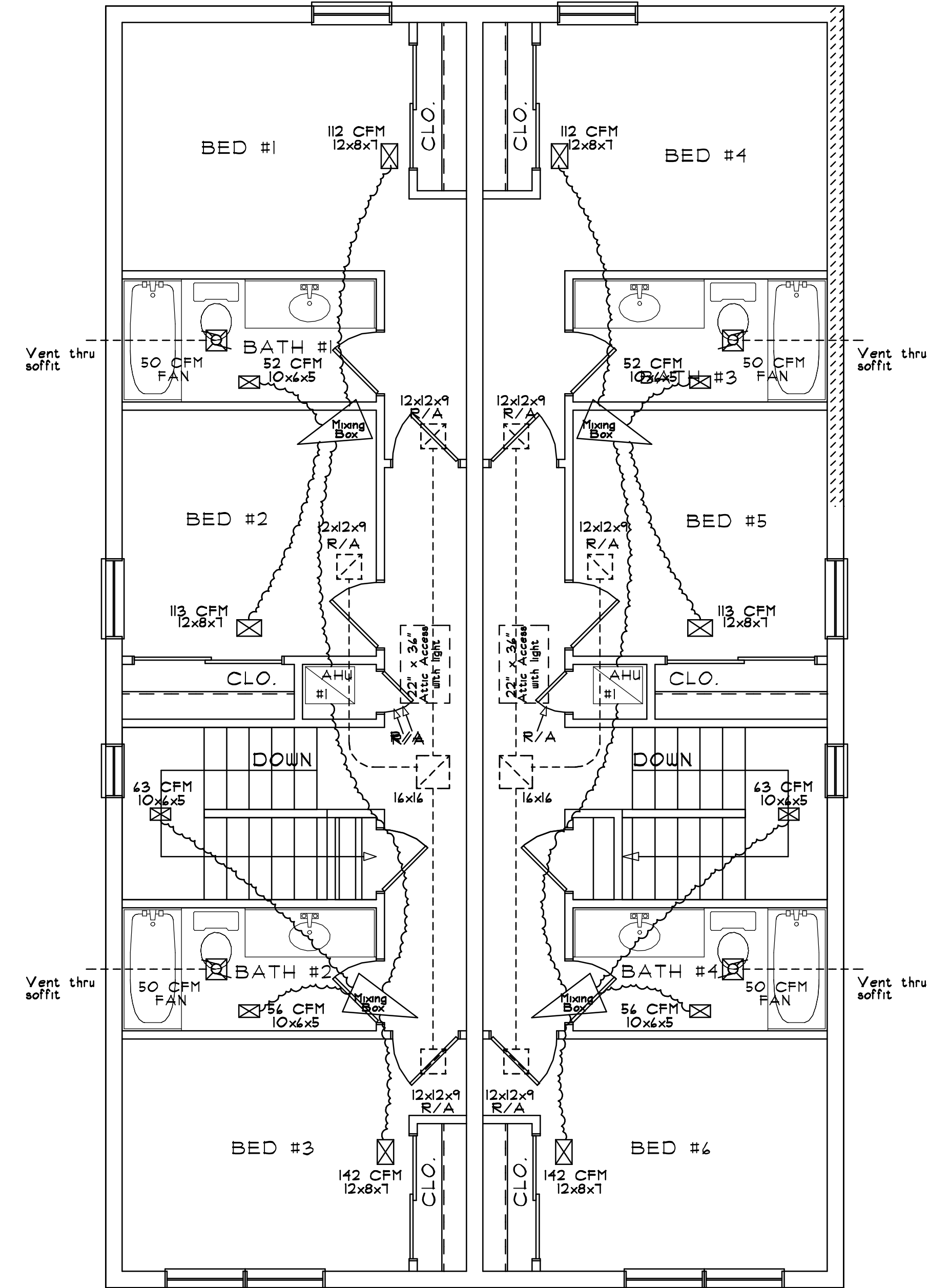


FIRST FLOOR DUCT LAYOUT

NOTES:

1. A/C Return Air Balance Must comply w/ F.B.C. Mechanical 8th ed. and current version of any supplements to the 8th ed.
2. A/C Refrigerant lines that are run thru slabs must be sleeved in PVC
3. ALL A/C Equipment shall be 15.5 SEER2
4. Provide Disconnects at ALL appliances (water heater, A/C units, and ALL other equipment as required by N.E.C.)
5. A/C Ducts in Garage shall be metal or 1" thick minimum rigid nonmetallic Class O or Class I duct or other approved material and shall have no openings into the garage.
6. ENERGY CALCULATIONS AND MANUAL "J" BY OTHERS

SCALE: 1/4" = 1'-0"



SECOND FLOOR DUCT LAYOUT

SCALE 1/4" = 1'-0"

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