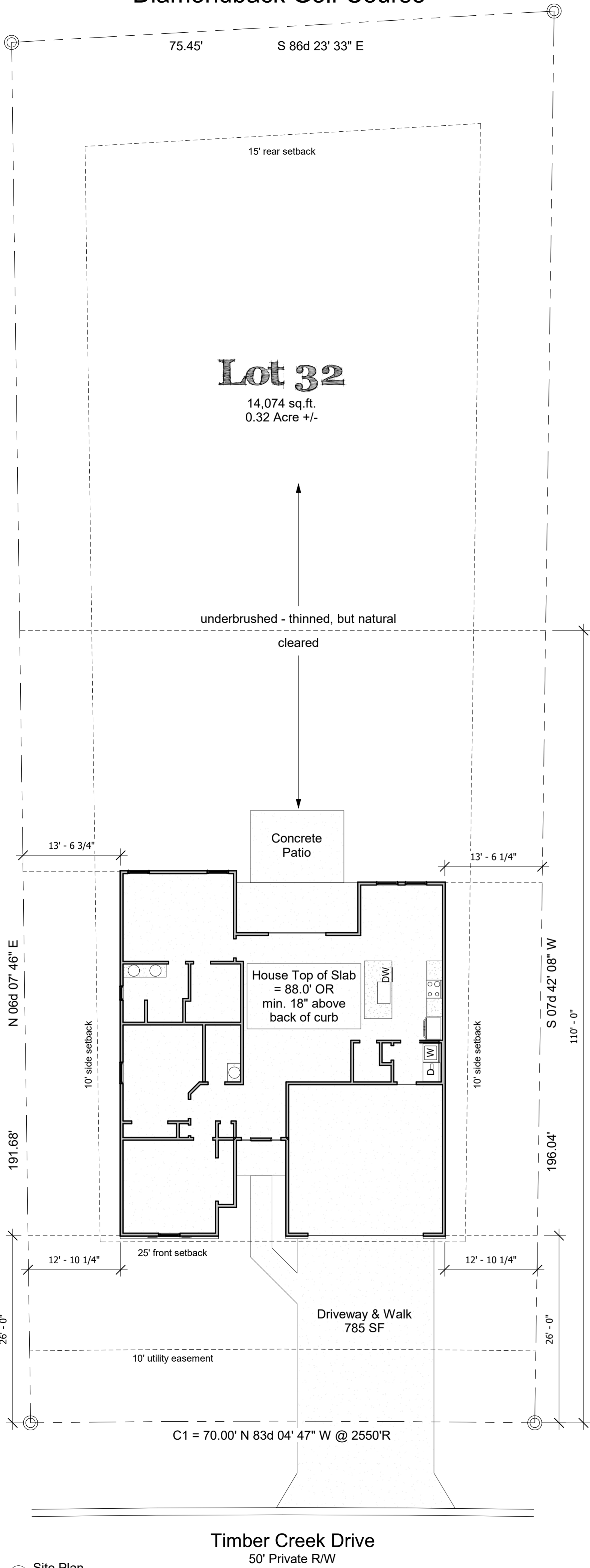


Diamondback Golf Course



4 Site Plan
1" = 10'-0"

FLOOR PLAN NOTES:
VERIFY ALL WINDOW & DOOR ROUGH OPENING SIZES WITH MANUFACTURER SPECIFICATIONS.

DRYWALL: USE SQUARE CORNER BEAD AT ALL CORNERS UNLESS NOTED OTHERWISE. ALL RECESSED AND PROJECTED CEILING SURFACES SHALL BE SMOOTH FINISH.

LOCATE ALL PLUMBING & EXHAUST STACKS BEYOND THE FRONT ELEVATION ROOF RIDGES, IF ALLOWABLE PER CODE.

THE GARAGE IS TO BE SEPARATED FROM ADJACENT LIVING AREA AND ATTIC SPACE BY 1/2" GYP. BD. AND HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYP. BD. (OR EQUIVALENT) INSTALLED ON THE GARAGE SIDE.

ACCESSORY INFORMATION:
TOWEL BAR MOUNT @ 42" A.F.F.
TOWEL BAR ABOVE TUB DECK @ 36" ABOVE TUB
TOILET PAPER HOLDER @ 24" A.F.F.
(1) ROD & SHELF (R&S) @ 60" A.F.F.
(2) ROD & SHELF (R&S) @ 40" & 80" A.F.F.
SHOWER CORNER SHELF @ 56" A.F.F.
MEDICINE CABINET (MC) @ 48" A.F.F.

Area Summary

Area Name	Area	Perimeter
First Floor Heated	1,549 SF	205'-6"
Garage	460 SF	86'-4"
Front Porch	35 SF	24'-0"
Covered Patio	119 SF	47'-11"
Grand total: 4	2,162 SF	

Window Schedule

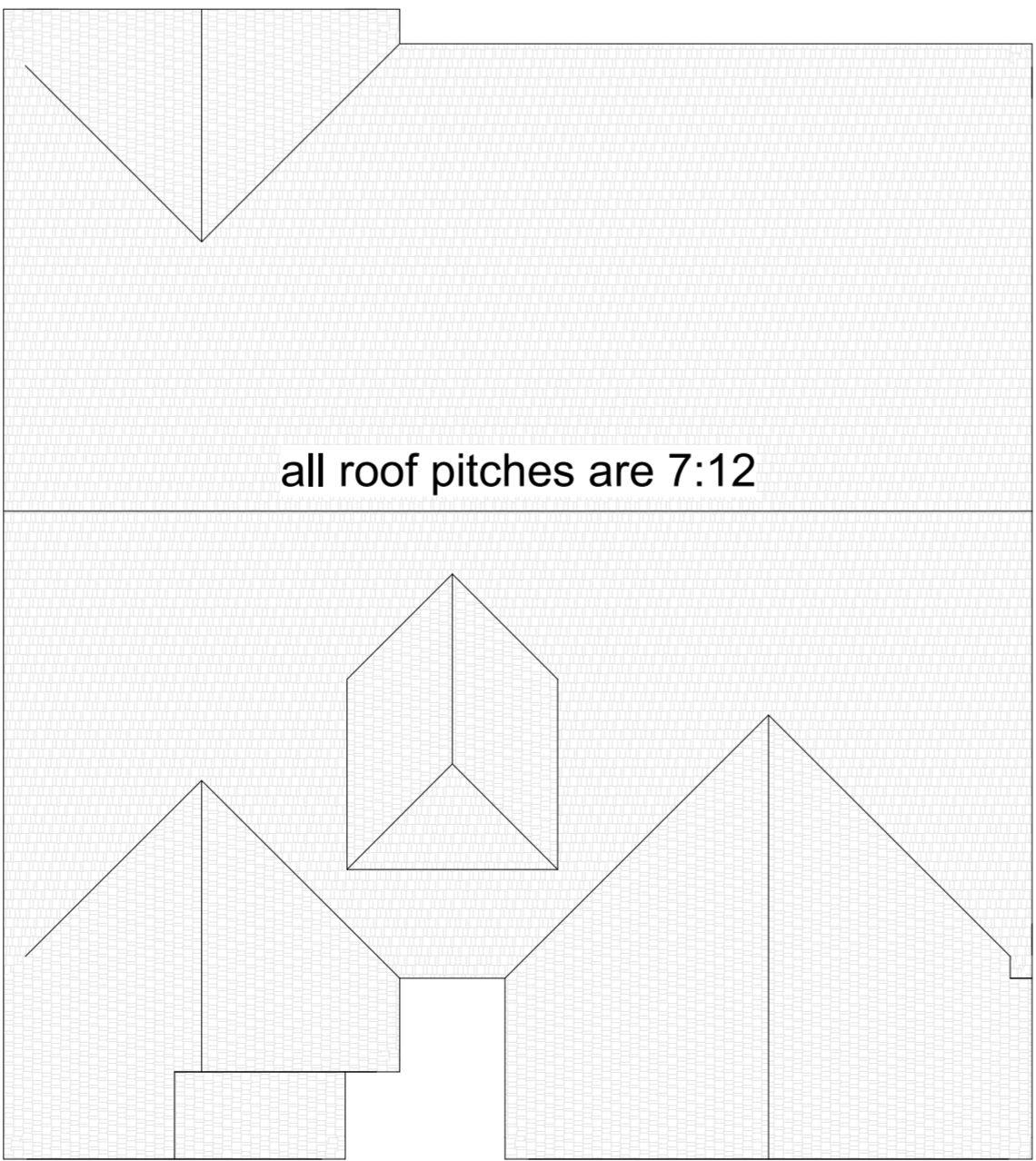
Type Mark	Quantity	Nominal Size		Material	Finish	Head Height	Comments
Width	Height						
2020f	1	2' - 0"	2' - 0"			12' - 0"	
2040	1	2' - 0"	4' - 0"			7' - 0"	
3030f	1	3' - 0"	3' - 0"			15' - 0"	
3050	6	3' - 0"	5' - 0"			7' - 0"	

Grand total: 9

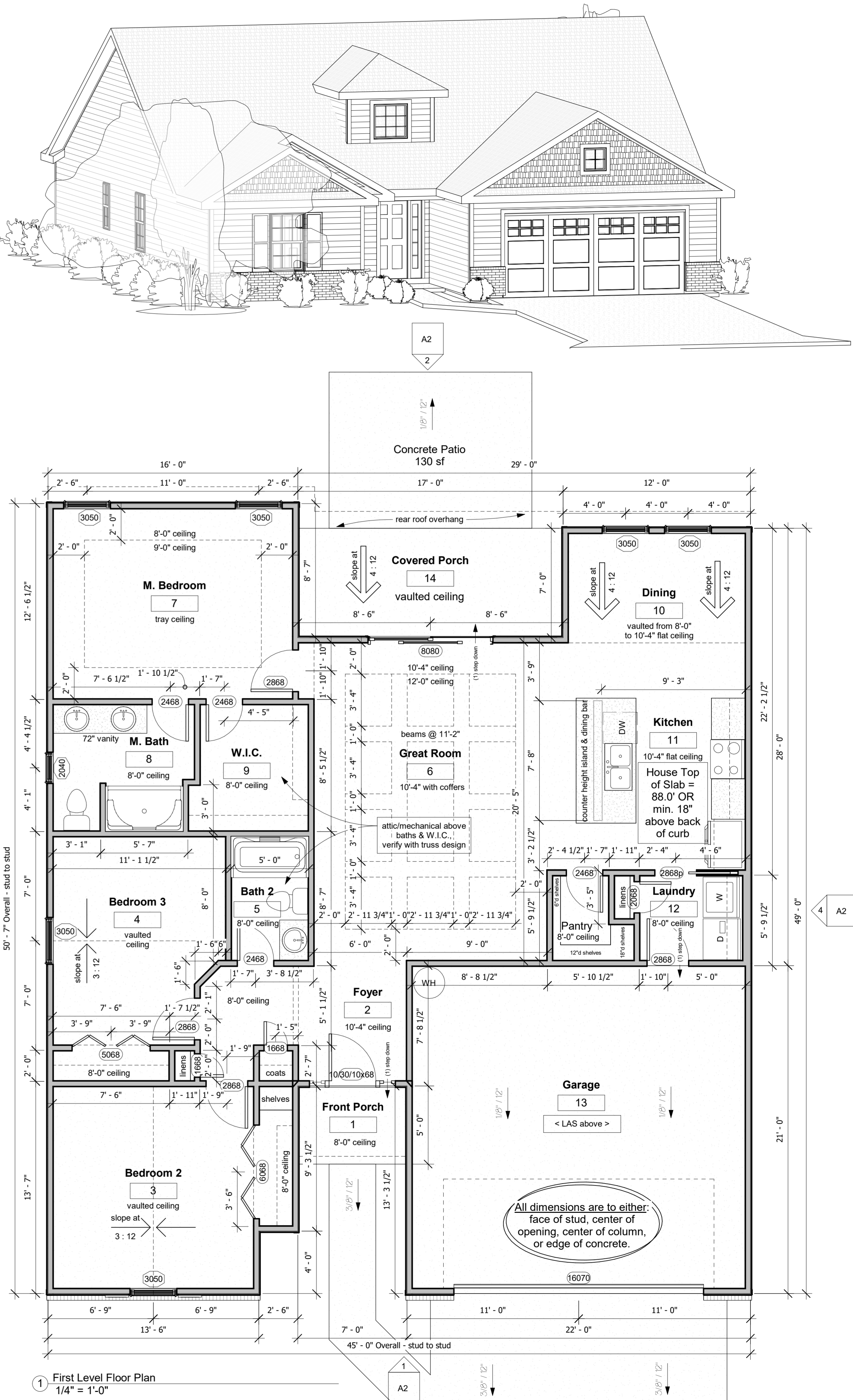
Door Schedule

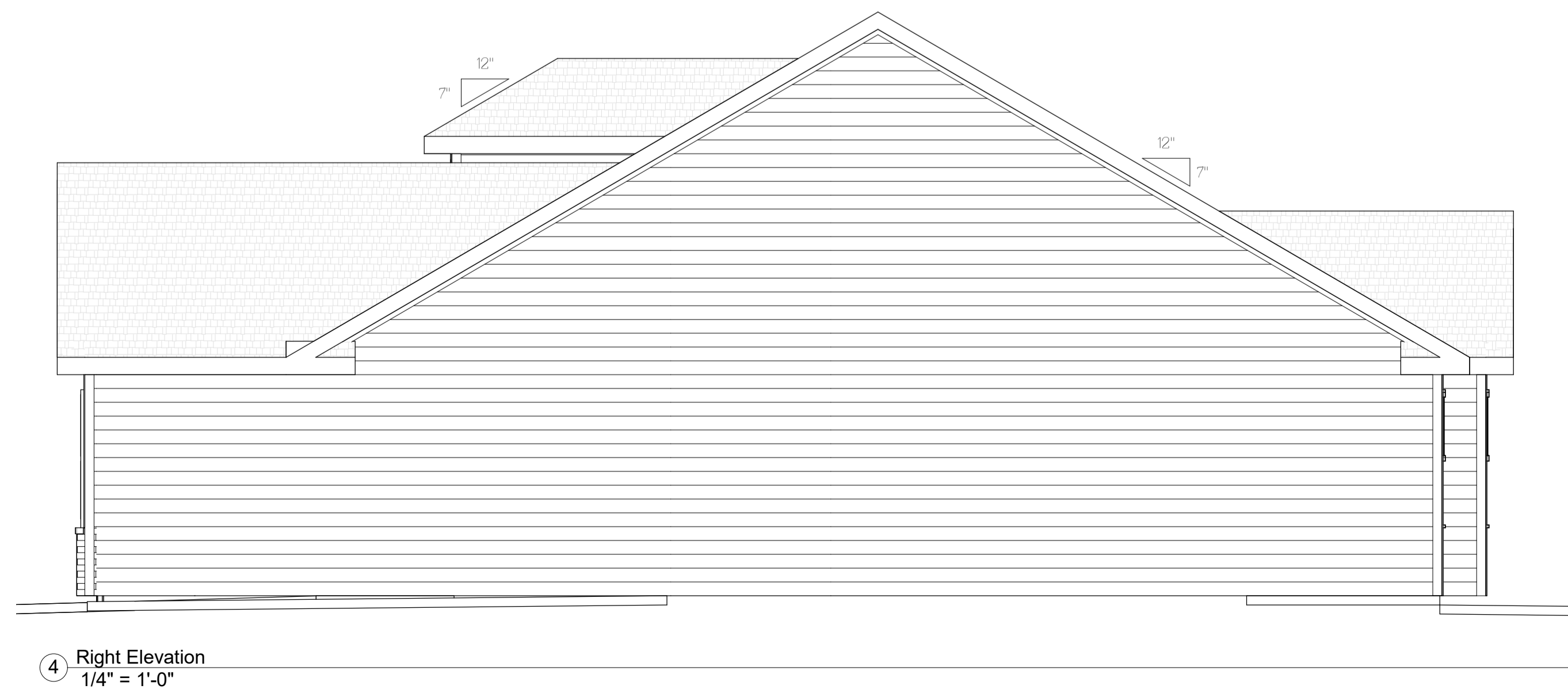
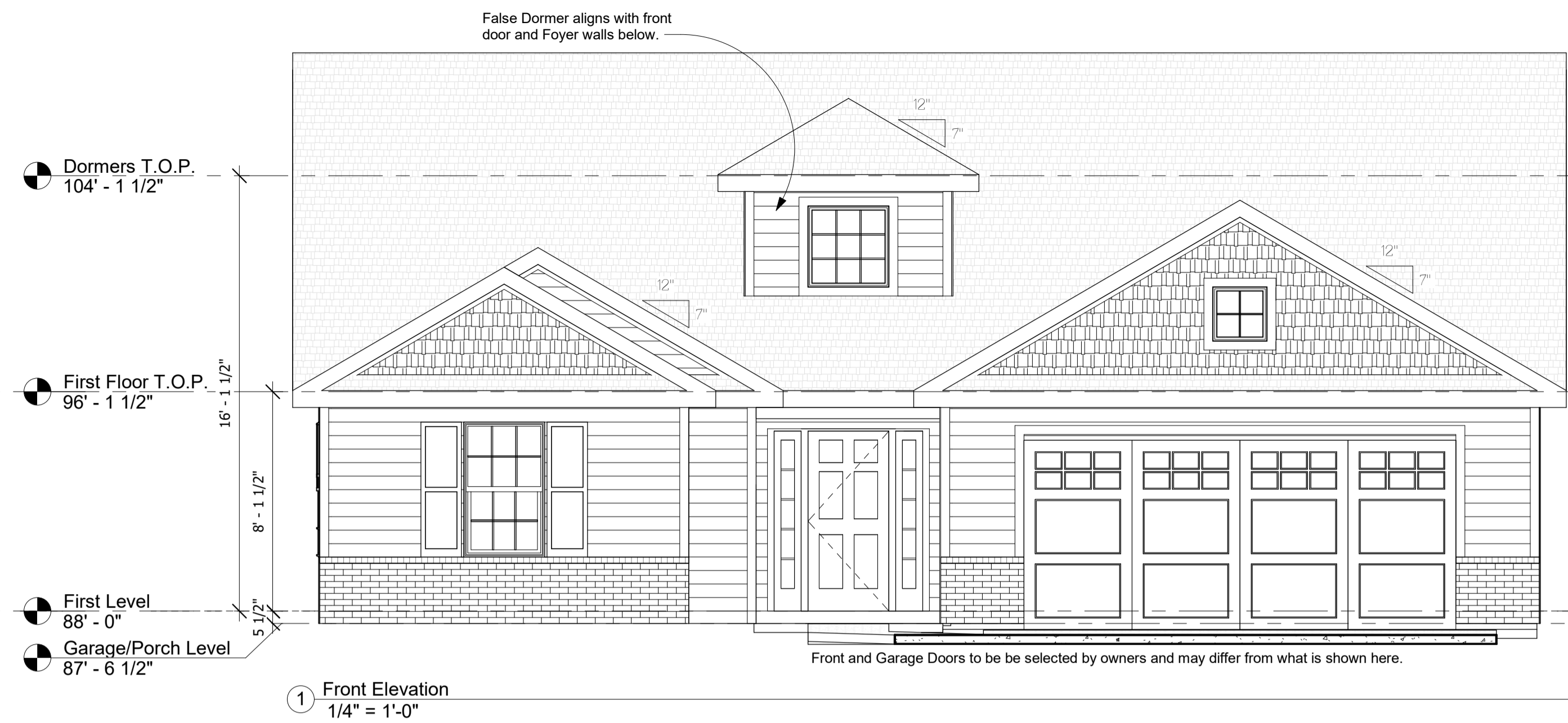
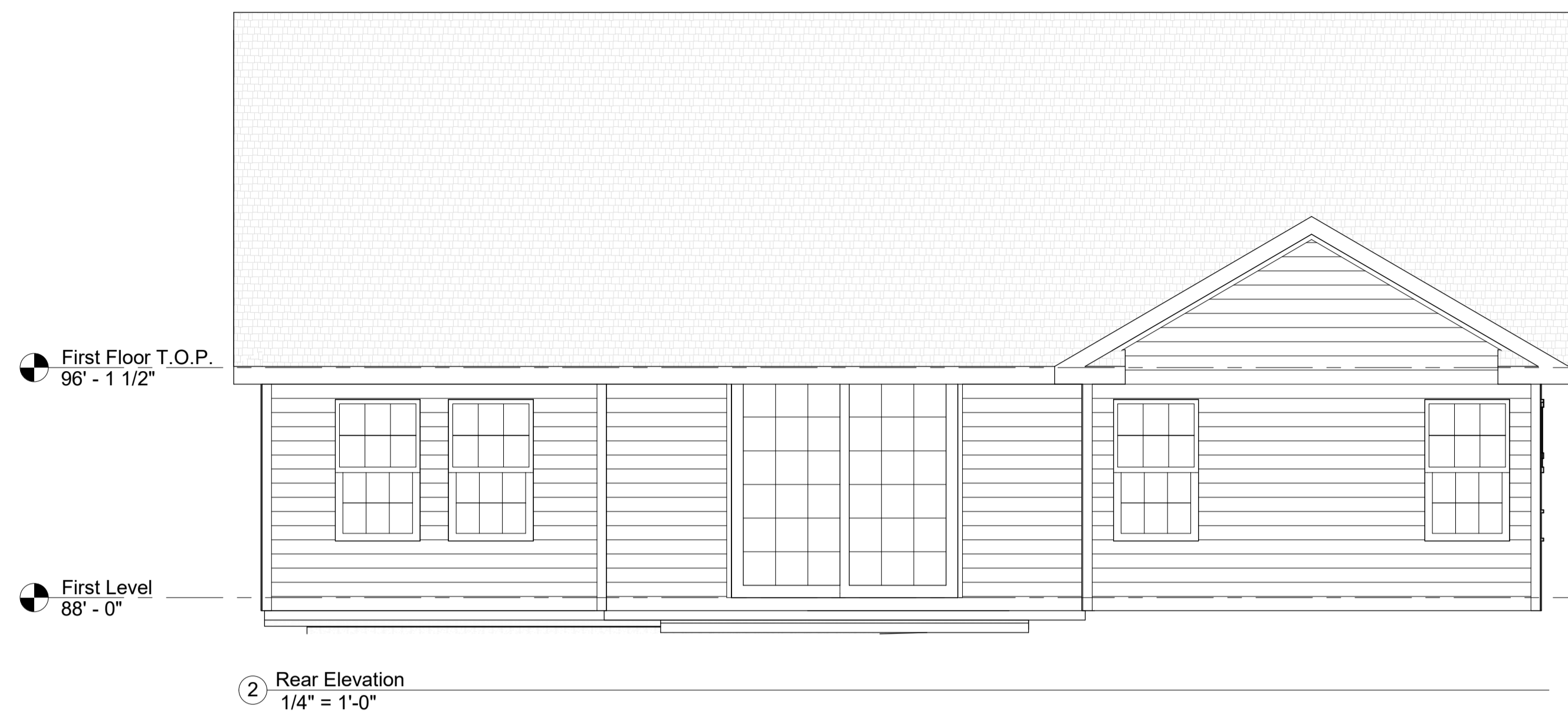
Door #	Door Size	Swing	Door Type	Style	Comments
10/30/10x68	36" x 80"				
1668	18" x 80"				
1668	18" x 80"				
2068	24" x 80"				
2468	28" x 80"				
2468	28" x 80"				
2468	28" x 80"				
2468	28" x 80"				
2868	32" x 80"				
2868	32" x 80"				
2868	32" x 80"				
2868p	32" x 80"				
5068	60" x 80"				
6068	72" x 80"				
8080	8080	Sliding			
16070	16'-0" x 7'-0" simple	Sectional			

17



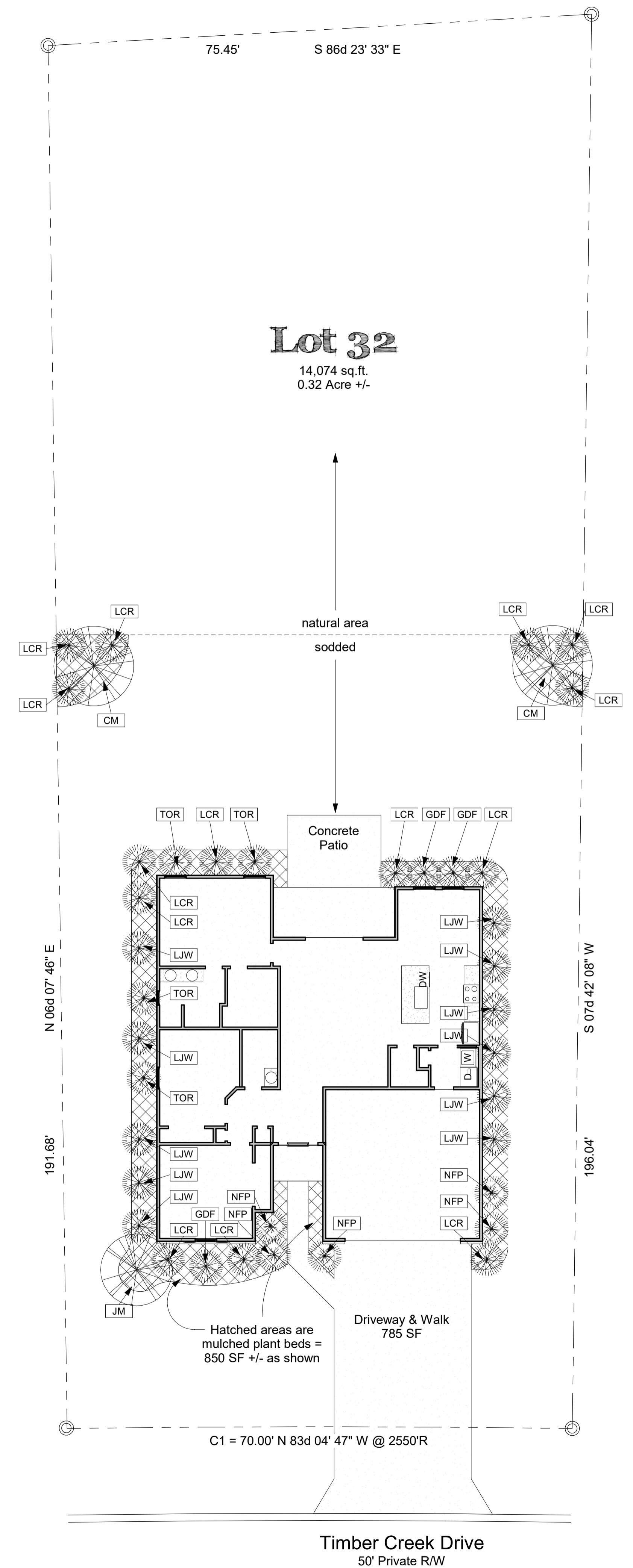
2 Roof Plan
1/8" = 1'-0"





Area Summary		
Area Name	Area	Perimeter
First Floor Heated	1,549 SF	205'-6"
Garage	460 SF	86'-4"
Front Porch	35 SF	24'-0"
Covered Patio	119 SF	47'-11"
Grand total: 4	2,162 SF	

Diamondback Golf Course



Landscape Legend

Landscape Legend						
Category	Quantity	Symbol	Common Name	Botanical Name	Planting Size	Mature Size
Tree	2	CM	Crape Myrtle	Lagerstroemia Indica	6-8' tall	36" x 25'w
Tree	1	JM	Japanese Maple	Acer Palmatum	15 gal	12-18' mature
Shrub	3	GDF	Gardenia	Gardenia Jasminoides	7 gal	3' wide & tall
Shrub	14	LCR	Loxpetalum	Loxpetalum Chinese Rubrum	7 gal	3-5' wide & tall
Shrub	11	LWJ	Ligustrum	Ligustrum Japonicum	7 gal	3-5' wide & tall
Shrub	5	NFP	Nandina	Nandina Domestica	3 gal	24" wide & tall
Shrub	4	TOR	Tea Olive	Osmanthus Heterophyllus	7 gal	4-5' tall & wide

Grand total: 40	40
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Landscape Notes:

- 1) Owner and builder reserve the right to substitute plant varieties as needed due to availability, seasonality or similar issues. Substituted plants shall be similar in character and nature to the original.
 - 2) All existing trees are to be inspected and removed based upon a review of their health, remaining lifespan and potential risk to the house. Refer to survey for complete existing tree inventory.
 - 3) All plant beds shall be mulched with material as selected by the owner in accordance and with the approval of the ARB.
 - 4) All areas not built, paved or landscape beds shall be sodded or seeded with centipeded grass in the front and side yards. The rear yard will be sodded to approximately 15' beyond the rear patio with the remaining area to be an undisturbed natural area or to be seeded, sodded or otherwise landscaped at the homeowners' discretion & expense.
 - 5) All landscaped areas of the property, including all grass and plant bed areas shall be watered with an automated, multi-zone irrigation system. This system shall be professionally designed and installed in accordance with ARB guidelines. The control box is to be located based upon the owners' preference.
 - 6) All landscaping shall be maintained and upkept according to ARB and community standards.
 - 7) **Landscape Lighting:** Pathway lights: Low-voltage or solar LED pathway lights shall be located along the front walk and driveway at the discretion of the homeowner.
- Up-lighting of Trees: Each of the hardwood trees, palm trees and ornamental trees may be uplit in accordance with ARB guidelines at the discretion of the homeowner
- 8) Plant bed borders, if any, are to be selected by the owner and shall comply with any and all ARB and community guidelines.

Irrigation:

The irrigation system will be designed and installed by a landscape professional who will provide their own irrigation plans and specifications.