



Area Summary				
Name	Heated	Enclosed	Under Roof	Area

First Floor	2,097 SF			2,097 SF
Bonus Room	430 SF			430 SF
Garage		649 SF		649 SF
Covered Patio			437 SF	437 SF
Front Porch			46 SF	46 SF
	2,527 SF	649 SF	483 SF	3,660 SF



1. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL REFER TO WRITTEN DIMENSION AS SHOWN. DIMENSIONS SHOWN ARE TO FACE OF STUD/CMU, FINISH FACE OF MASONRY/CONCRETE, CENTER OF OPENING (IN FRAME WALLS), SIDE OF OPENING (CMU WALLS), CENTER OF FIXTURES AND OTHER FEATURES. UNLESS NOTED OTHERWISE, ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE BUILDER OR CONTRACTOR AND COORDINATE WITH ALL AFFECTED TRADES OR SPECIALTIES. IN CASE OF ANY CONFLICTS OR DISCREPANCIES, CONTACT THE DESIGNER AND OWNER IN WRITING FOR ADDITIONAL INFORMATION, CLARIFICATION OR CORRECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDYING ANY DISCREPANCIES. THE DESIGNER AND OWNER SHALL COORDINATE WITH THE BUILDER AND ANY CONSULTANTS, ENGINEERS, SUPPLIERS OR VENDORS TO RESOLVE THE ISSUE TO PROVIDE THE BEST SOLUTION AVAILABLE FOR THE OWNER.

3. THE CONSULTANT, ENGINEERING AND SHOP DRAWINGS ARE SUPPLEMENTAL TO THIS DRAWING SET. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE ANY SUPPLEMENTAL DRAWINGS WITH THIS DRAWING SET TO VERIFY THAT ALL SYSTEMS AND FEATURES INTEGRATE AND COINCIDE WITH THE DESIGN INTENT WITH THIS DRAWING SET. CONTRACTOR SHALL PRESENT ANY CONFLICTS OR DISCREPANCIES TO THE DESIGNER AND OWNER IN WRITING FOR CLARIFICATION AND RESOLUTION.
9. THE BUILDER, CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. ANY ASSOCIATED FEES, REVIEWS AND EXPENSES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION, AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF ALL WORK UNLESS NOTED OTHERWISE IN THE DRAWING SET. ALL EQUIPMENT, INSTALLATION, COMPONENTS AND WARRANTIES SHALL COMPLY WITH ALL CURRENT AND APPLICABLE CODES AND REGULATIONS IN ADDITION TO ANY CONTRACT DOCUMENTS WITH THE OWNER.
11. THE BUILDER, CONTRACTOR AND ALL SUBCONTRACTORS SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ANY DAMAGE CAUSED BY CONTRACTOR PERSONNEL. TO THE SATISFACTION OF BOTH THE OWNER AND DESIGNER. ALL REASONABLE EFFORTS SHALL BE MADE TO PROTECT AND SECURE ALL MATERIALS, SUPPLIES AND FINISHES FROM DAMAGE, WEATHER, THEFT AND VANDALISM.
12. UNLESS SPECIFIED OR NOTED OTHERWISE, ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY CODE OR FOR THE PROPER INSTALLATION, OPERATION OR MAINTENANCE OF MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT. WHETHER INDICATED ON THE DRAWING SET OR NOT, THE CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH ALL AFFECTED CONTRACTORS' WORK. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHOUT THE EXPRESSED APPROVAL OF THE OWNER AND DESIGNER.
13. ANY WORK IMPROPERLY INSTALLED OR IN CONFLICT WITH THIS DRAWING SET OR CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR(S). NO ADDITIONAL FEES OR CHARGES OR FEES SHALL BE PASSED ON TO THE OWNER, DESIGNER, ENGINEERS OR CONSULTANTS TO REMEDY THE IMPROPER WORK. IF NECESSARY, ANY DESIGN, ENGINEERING OR CONSULTANT FEES REQUIRED TO REMEDY THE IMPROPER WORK SHALL BE THE RESPONSIBILITY OF THE RESPONSIBLE CONTRACTOR(S).
14. THE SIZE, TYPE, SHAPE AND LOCATION OF MECHANICAL EQUIPMENT, FIXTURES, EQUIPMENT PADS AND BASES CONTAINED WITHIN THE DRAWING SET AND CONTRACT DOCUMENTS ARE APPROXIMATE ONLY, UNLESS SPECIFICALLY NOTED. THE CONTRACTOR SHALL VERIFY DIMENSIONS WITH OTHER TRADES AND/OR THE MANUFACTURER/SUPPLIER.
15. THE BUILDER AND/OR CONTRACTOR IS NOT RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM FOR ALL TRADES PERFORMING WORK ON THE PREMISES. THIS SHOULD INCLUDE BUT IS NOT LIMITED TO THE ISOLATION OF WORK AREAS, STORAGE AREAS, AND THE PROMPT REMOVAL OF ANY DEBRIS, WASTE, TOOLS & EQUIPMENT WHICH MIGHT ENDANGER VISITORS.
16. THE BUILDER AND CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF THE OWNER AND ALL UTILITIES AND SERVICE PROVIDERS TO VERIFY AVAILABLE FACILITIES AND ARRANGE FOR TEMPORARY SERVICES AS NEEDED. IN ADDITION, THE BUILDER AND/OR CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT, RELOCATION OR DEMOLITION OF EXISTING UTILITIES THAT MAY EXIST BOTH ABOVE AND BELOW GRADE WITH RESPECTIVE UTILITY OR SERVICE PROVIDERS.
17. SUBSTITUTIONS OR EQUALS: REFERENCES TO MAKERS, BRAND, MODELS, ETC. IS TO ESTABLISH AND COMMUNICATE THE TYPE AND QUALITY OF MATERIALS AND/OR EQUIPMENT DESIRED FOR THE PROJECT. SUBSTITUTION WITH ACCEPTABLE EQUIVALENTS SHALL BE APPROVED BY THE DESIGN AND OWNER PRIOR TO BID, PURCHASE OR INSTALLATION (UNLESS NOTED OTHERWISE).
18. NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE, OF SPECIFIED QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THIS PROJECT.
19. SHOP DRAWINGS: SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL EQUIPMENT, MATERIALS AND SYSTEMS SUCH AS TRUSSES WHICH MUST INTEGRATE AND COORDINATE WITH OTHER SYSTEMS OR MUST BE REVIEWED FOR QUALITY OR EQUIVALENCY TO SPECIFIED MATERIALS, WHETHER DETAILED IN THE CONSTRUCTION SET OR NOT.
20. FINAL CLEAN-UP AND DISPOSAL: THE BUILDER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION DEBRIS, TRASH, AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HALLING AND DUMPING COSTS. ALSO, THE BUILDER/CONTRACTOR WILL OBSERVE AND OBEY ALL APPLICABLE LAWS, REGULATIONS, AND ORDERS REGARDING COMPLETION OF WORK. NOTWITHSTANDING, ANY DISCREPANCY OR PROPERTY AFFECTED BY CONSTRUCTION SHALL BE IMMEDIATELY CLEANED AND FREE FROM DIRT AND DEBRIS. THIS SHALL INCLUDE BUT IS NOT LIMITED TO: CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, SCUFF MARKS, PAINT SPOTS, RUNS AND DRIPS AND ANY OTHER SIMILAR MESSSES AND BLEMISHES.
21. THE STRUCTURAL ENGINEER AND DESIGNER SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING, REINFORCING AND/OR BRACING SATISFACTORY TO THE STRUCTURAL ENGINEER SHALL BE PROVIDED BY THE BUILDER/CONTRACTOR PRIOR TO CUTTING INTO THE STRUCTURAL PORTIONS OF ANY BUILDING.
22. THE BUILDER/CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING FLOOR-TO-FLOOR ELEVATIONS. ANY NEW WORK SHALL COMPLY WITH RESPECTIVE FLOORS, CEILINGS, AND ANY OTHER ADJACENT FINISHES.
23. THE BUILDER/CONTRACTOR WILL RE-LOAM, RE-SEED AND/OR RE-SOIL ANY AREAS DISTURBED BY CONSTRUCTION.
24. DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER AND CONSULTANTS TO THE DESIGNER AND ENGINEERS. THE DESIGNER AND ENGINEER DOES NOT WARRANT EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF EXISTING INFORMATION RECORDED. THE BUILDER/CONTRACTOR SHALL FIELD VERIFY ANY AND ALL EXISTING CONDITIONS. NOTWITHSTANDING, ANY DISCREPANCY OR PROPERTY AFFECTED BY CONSTRUCTION SHALL BE IMMEDIATELY CLEANED AND FREE FROM DIRT AND DEBRIS. THIS SHALL INCLUDE BUT IS NOT LIMITED TO: CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, SCUFF MARKS, PAINT SPOTS, RUNS AND DRIPS AND ANY OTHER SIMILAR MESSSES AND BLEMISHES.

Survey Notes:

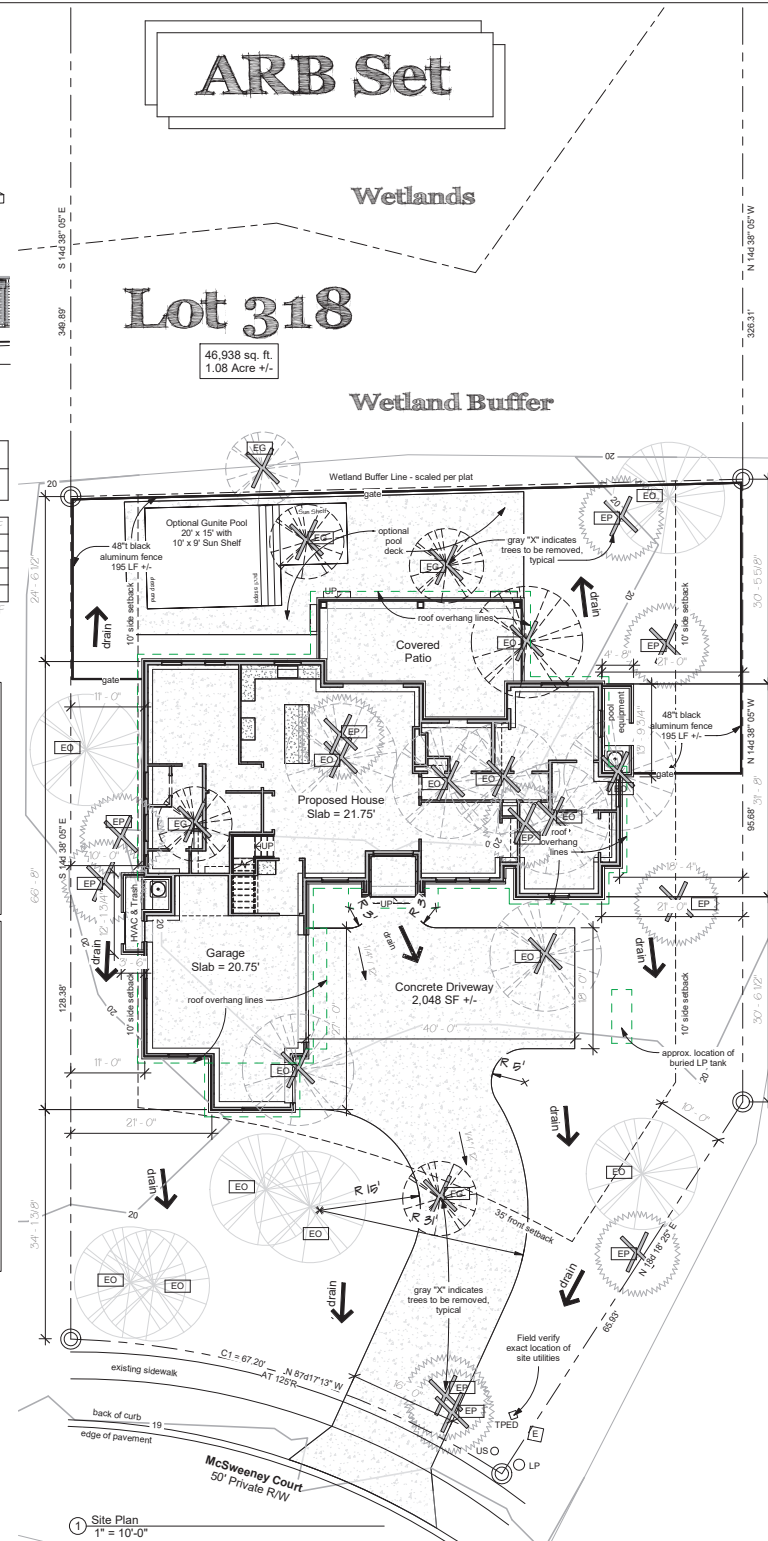
- 1) This site plan was drawn based from the survey by RLA & Associates dated 11/12/2022. Owner and builder are responsible for verifying all survey information.
Refer to survey for existing elevations, conditions and other details.
- 2) Dimensions to locate the house are measured from face of concrete/CMU/stud perpendicular to property lines.
- 3) Horonzy Design & Development and its associates are not liable for any errors, omissions or defects from information in this survey and shall be held harmless against any claims.

Drainage Notes:

- 1) Lot shall be sloped away from the house towards the street, wetlands and existing drainage as much as possible.
- 2) Existing drainage shall be respected and implemented to integrate and utilize neighborhood drainage systems including swales, stormwater and natural areas/wetlands.
- 3) Downspout and downspouts shall be designed & installed to integrate with site drainage to effectively direct water away from the property.
- 4) French Drain system to be installed as indicated on the Drainage Plan, exact size and location to be field determined. As much as reasonably possible, all downspouts, floor drains and similar drainage elements are to be tied into this French Drain system, gutter and downspout as shown. French drain piping to be sized appropriately based on gutter and drainage capacity it must handle.
- 5) All reasonable efforts shall be made to direct site drainage away from neighboring lots/homes.

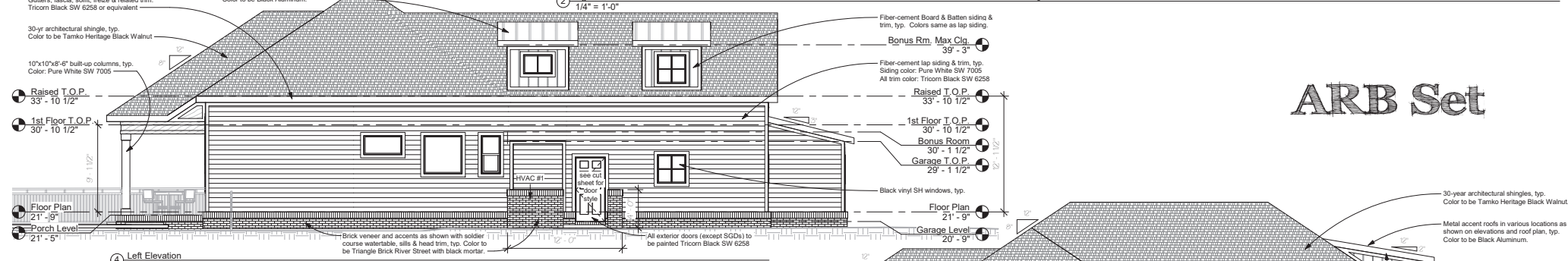
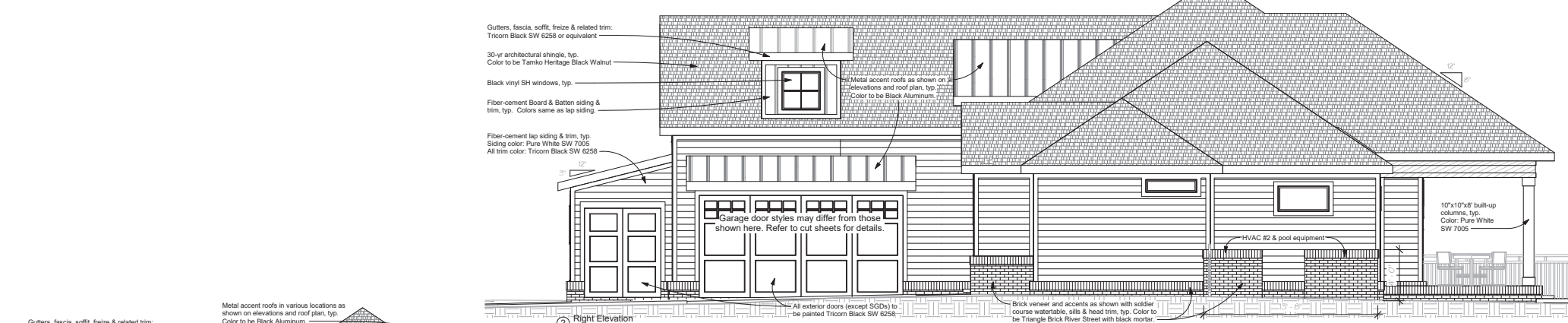
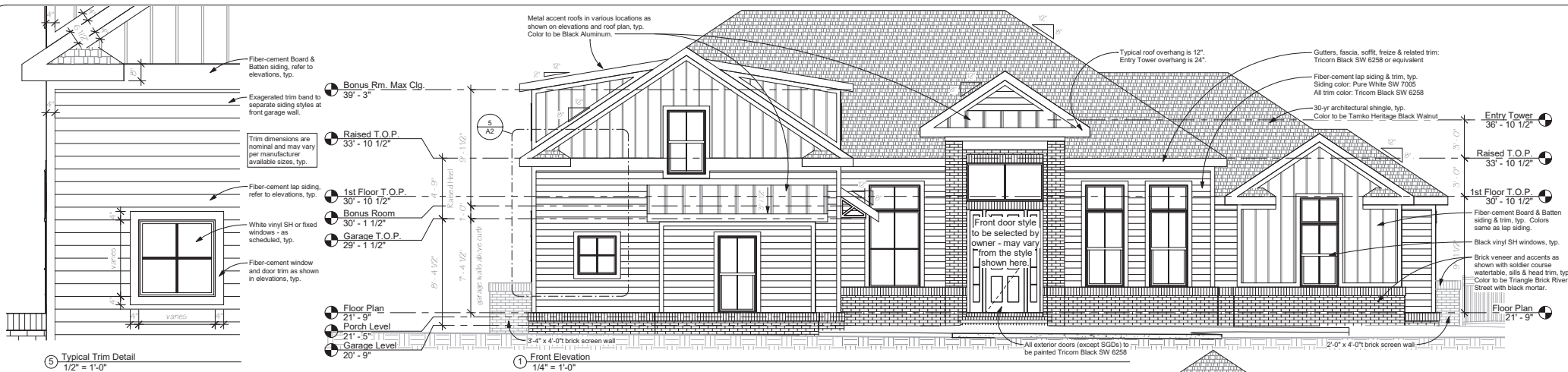
Sheet #	Sheet Name
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A0	Cover & Site
A1	Floor Plans
A2	Elevations
D1	Drainage & Grading
ES	Existing Survey
LS1	Landscape Plan



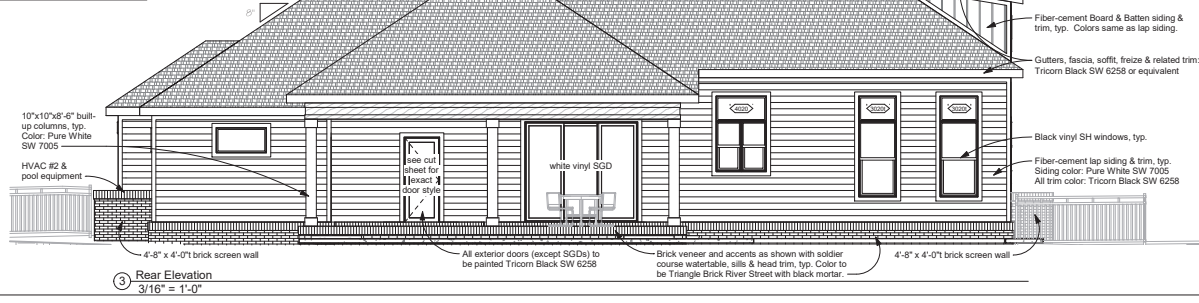


Area Summary				
Name	Heated	Enclosed	Under Roof	Area
First Floor	2,097 SF			2,097 SF
Bonus Room	430 SF			430 SF
Garage		649 SF		649 SF
Covered Patio			437 SF	437 SF
Front Porch			46 SF	46 SF
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Area Summary

Name	Heated	Enclosed	Under Roof	Area
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ARB Set

Lot 318

46,938 sq. ft.
1.08 Acre +/-

Wetlands

Wetland Buffer

Drainage Notes:

- 1) Lot shall be sloped away from the house towards the street, wetlands and existing drainage as much as possible.
- 2) Overall site drainage shall be designed and implemented to integrate and utilize neighborhood drainage systems including swales, stormwater and natural areas/wetlands.
- 3) Gutters and downspouts shall be designed & installed to integrate with site drainage to effectively direct water away from the property.
- 4) French Drain system to be installed as indicated on Drainage Plan, exact size and location to be field determined. As much as reasonably possible, all downspouts, floor drains and similar drainage elements are to be tied into this french drain with outfall positioned as shown. French drain piping to be sized appropriately based on gutter and drainage capacity it must handle.
- 5) All reasonable efforts shall be made to direct site drainage away from neighboring lots/homes.

① Drainage & Grading
1" = 10'-0"

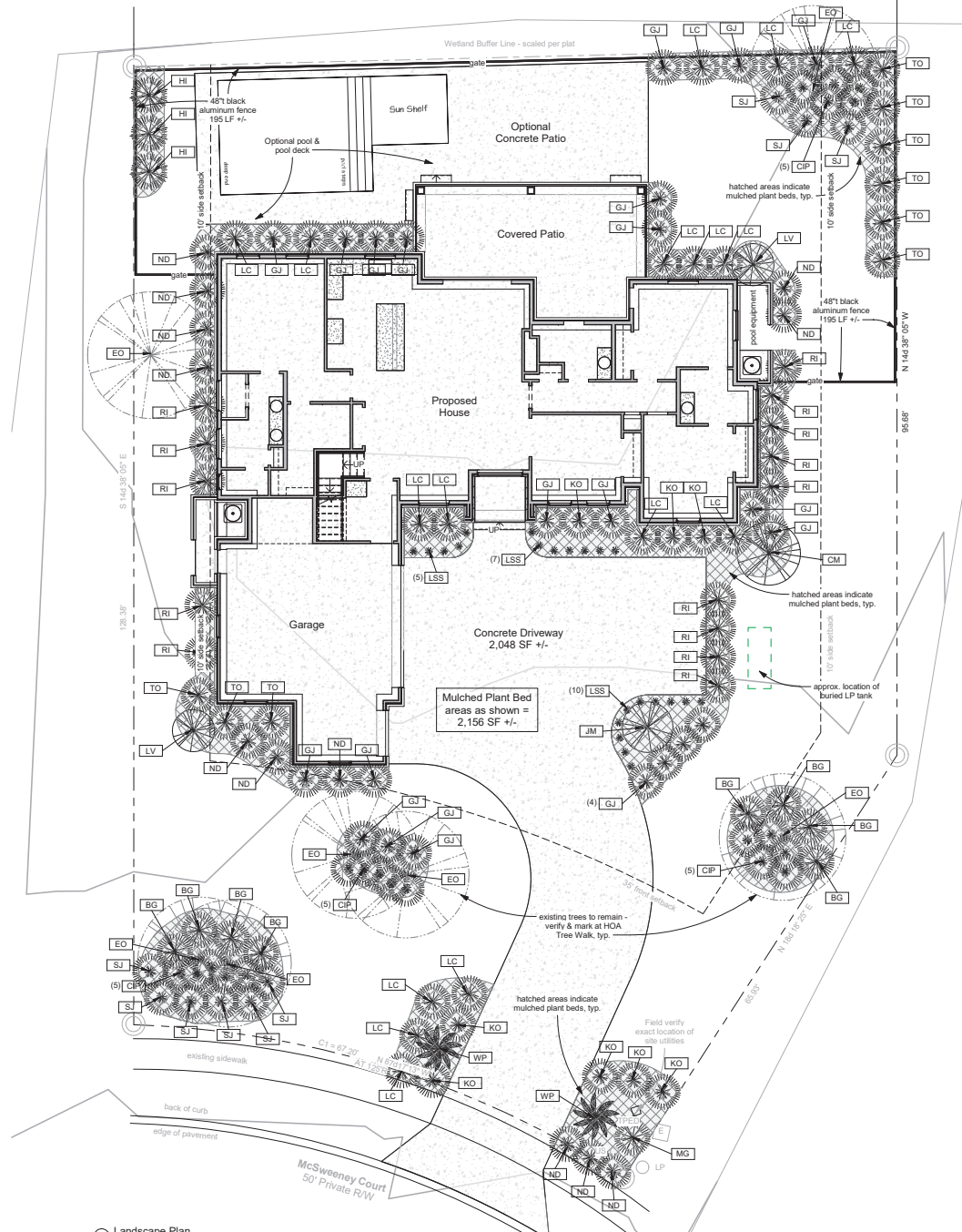
ARB Set

LEGEND
EXISTING 80% (PA. 80%)
1. 1" = 10' (PA. 10')
2. 1" = 20' (PA. 20')
3. 1" = 40' (PA. 40')
4. 1" = 80' (PA. 80')
5. 1" = 160' (PA. 160')
6. 1" = 320' (PA. 320')
7. 1" = 640' (PA. 640')
8. 1" = 1280' (PA. 1280')
9. 1" = 2560' (PA. 2560')
10. 1" = 5120' (PA. 5120')
11. 1" = 10240' (PA. 10240')
12. 1" = 20480' (PA. 20480')
13. 1" = 40960' (PA. 40960')
14. 1" = 81920' (PA. 81920')
15. 1" = 163840' (PA. 163840')
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172. 1" = 29931553532536891764811465374029475984855460720148480' (PA. 29931553532536891764811465374029475

Lot 318

46,938 sq. ft.
1.08 Acre +/-

Wetland Buffer



Landscape Notes:

- 1) Owner and builder reserve the right to substitute plant varieties as needed due to availability, seasonality or similar issues. Substituted plants shall be similar in character and nature to the original.
- 2) All existing pine trees are to be removed due to their proximity to the house/utilities and likely damage to both the trees and the house either during construction or in the future. Refer to survey for complete existing tree inventory.
- 3) All plant beds shall be covered to a minimum 2" depth with a shredded hardwood mulch as selected by the owner in accordance with the ARB. The plant beds as shown cover a total area of approximately 2,156 SF.
- 4) All areas not built, paved or landscape beds shall be sodded or seeded with centipede grass in accordance with ARB guidelines.
- 5) All landscaped areas of the property, including all grass and plant bed areas shall be watered with an automated, multi-zone irrigation system. This system shall be professionally designed and installed in accordance with ARB guidelines. The control box is to be located based upon the owners' preference.
- 6) All landscaping shall be maintained and upkept according to ARB and community standards.
- 7) **Landscape Lighting: Pathway lights:** Low-voltage or solar LED pathway lights shall be located along the front walk and driveway at the discretion of the homeowner.
- 8) **Up-lighting of Trees:** Each of the hardwood trees, palm trees and ornamental trees may be uplit in accordance with ARB guidelines at the discretion of the homeowner.
- 9) Plant bed borders, if any, are to be selected by the owner and shall comply with any and all ARB and community guidelines.

Planting Schedule

Category	Quantity	Type Mark	Common Name	Botanical Name	Variant/Cultivar	Planting Size	Mature Growth
Tree - Existing	7	EO	Existing Oak	Quercus	EXISTING to remain	4" caliper or greater	
Tree	1	CM	Grape Myrtle	Lagerstroemia Indica	"Tuscany"	30 gal	20-25' tall mature
Tree	1	JM	Japanese Maple	Acer Palmatum	"Bloodgood"	30 gal	12-18' mature
Tree	2	WP	Windmill Palm	Trachycarpus Fortunei		30 gal	15-20' mature
Tree	2	LV	Liquist	Ericubrya Japonica	"Variegata"	15 gal	20-25' tall mature
Shrub	3	HI	Holly Inkberry	Ilex Glabra		7 gal	up to 10' tall
Shrub	8	KO	Knock-out Rose	Rosa hybrid	"Double Pink"	7 gal	5' wide & tall
Shrub	9	TO	Tea Olive	Osmanthus heterophyllus	"Roundifolius"	7 gal	4-5' tall & wide
Shrub	8	BG	Breeze Grass	Carex Mommii	Matt Rush	3 gal	5' wide x 4' tall
Shrub	22	GJ	Gardenia	Gardenia Jasminoides	"Frostproof"	3 gal	3' wide & tall
Shrub	16	LC	Liriodendrum	Liriodendrum chinense	"Purple Pixie"	3 gal	4' wide x 2' tall
Shrub	1	MG	Muhly Grass	Muhlenbergia capillaris	pink	3 gal	3' wide x 4' tall
Shrub	12	ND	Nandina	Nandina domestica	"Firepower"	3 gal	4' wide & tall
Shrub	14	RI	Indian Hawthorn	Raphanthera indica	"Georgia Petate"	3 gal	3' wide & tall
Ground cover	22	LSS	Liriope	Liriope muscari	"Silverly Supercolor"	9-12" (1 gal)	12-15" tall
Ground cover	9	SJ	Shore Juniper	Juniper conferta	"Blue Pacific"	3-4' spread	12-18" tall & 6-8' spread
Ground cover	20	CIP	Cast Iron Plant	Aspidistra elatior	Variegated	3 gal	18"-24" tall
Grand total	157						