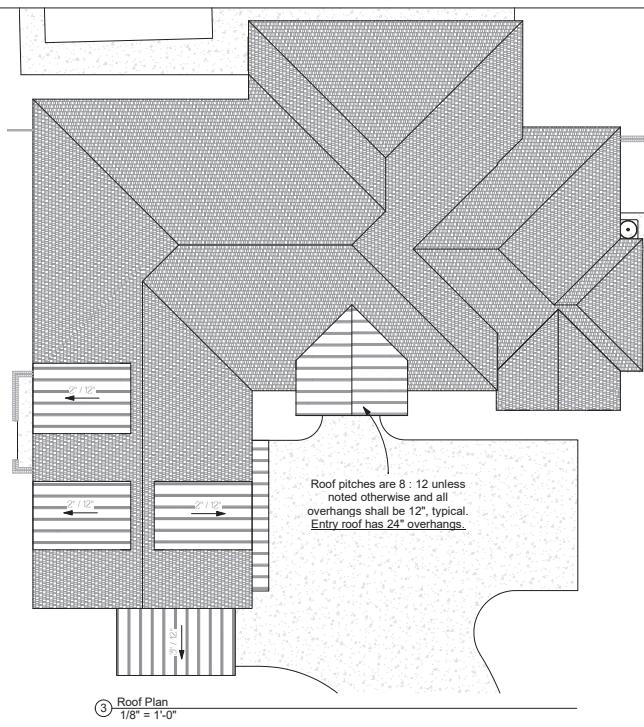
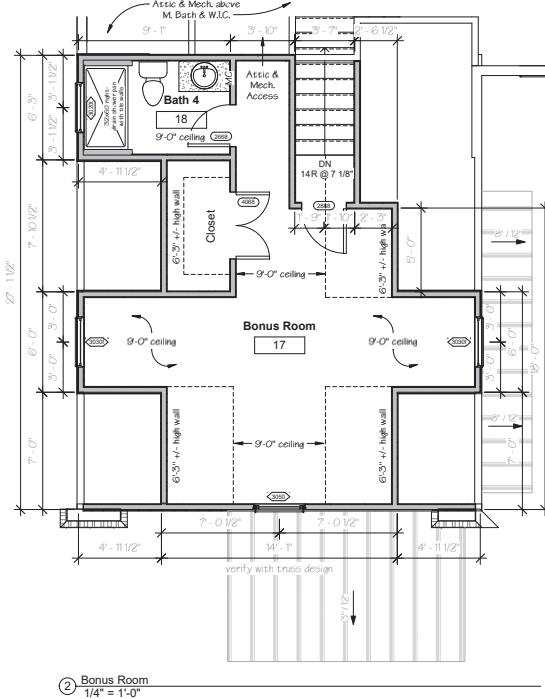




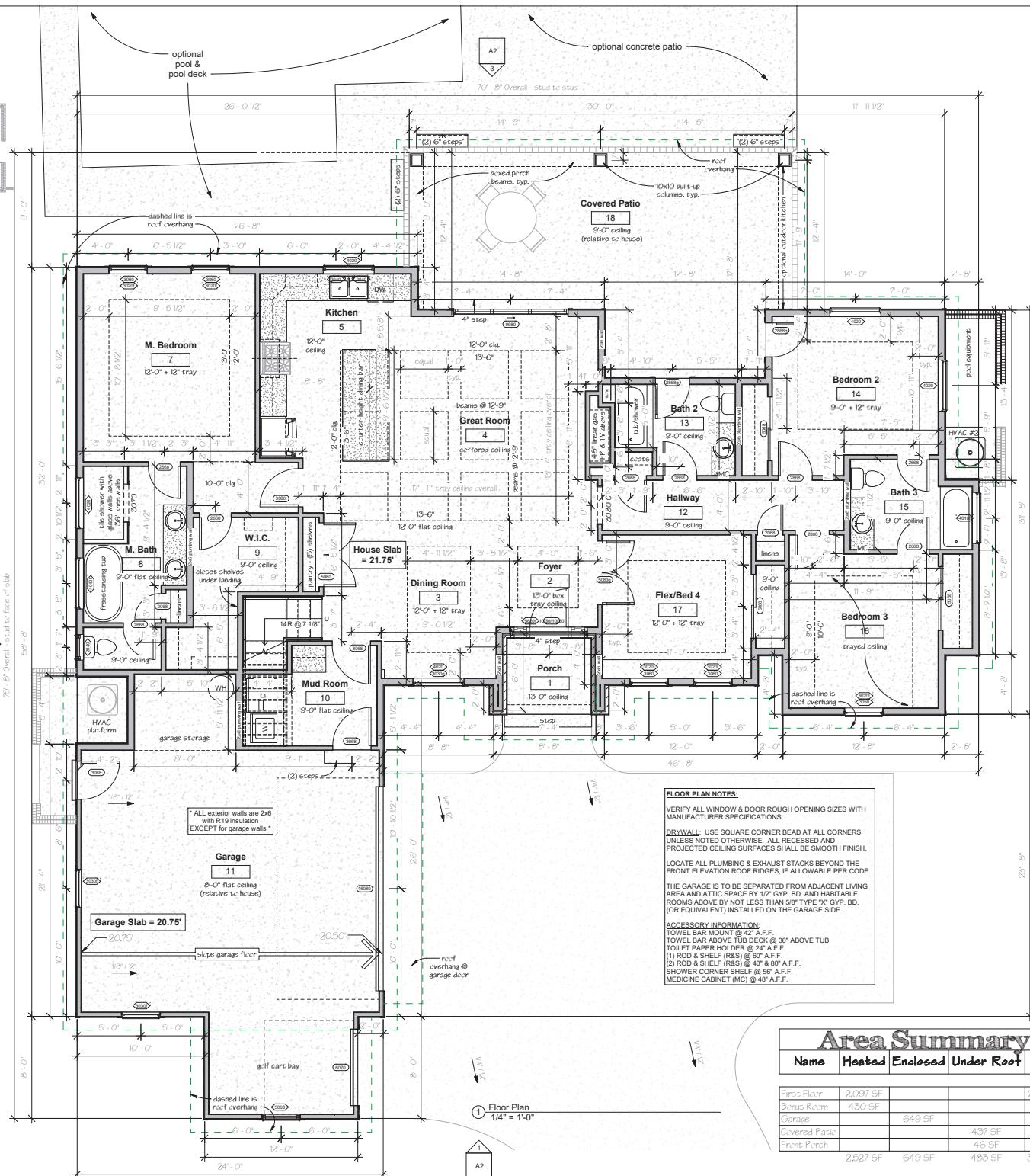
## ARB Set



③ Roof Plan  
1/8" = 1'-0"



② Bonus Room  
1/4" = 1'-0"



**FLOOR PLAN NOTES:**

VERIFY ALL WINDOW & DOOR ROUGH OPENING SIZES WITH MANUFACTURER SPECIFICATIONS.

DRYWALL: USE SQUARE CORNER BEAD AT ALL CORNERS UNLESS NOTED OTHERWISE. ALL RECESSED AND PROJECTING CEILING SURFACES SHALL BE SMOOTH FINISH.

LOCATE ALL PLUMBING & EXHAUST STACKS BEYOND THE FRONT ELEVATION ROOF RIDGES, IF AVAILABLE PER CODE.

THE GARAGE IS TO BE SEPARATED FROM ADJACENT LIVING AREA AND ATTIC SPACE BY 1/2" G.YP. BD. AND HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X G.YP. BD. (OR EQUIVALENT) INSTALLED ON THE GARAGE SIDE.

**ACCESSORY INFORMATION:**

TOWEL BAR MOUNT  $\pm$  42" A.F.F.

TOWER BAR ABOVE BATH  $\pm$  38" ABOVE TUB

TOWER BAR ABOVE BATH  $\pm$  24" F.F.

(1) ROD & SHELF (RAS)  $\pm$  60" A.F.F.

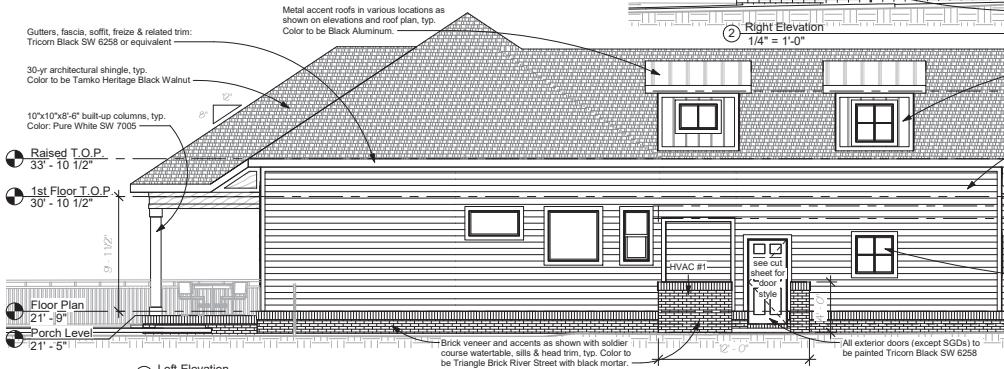
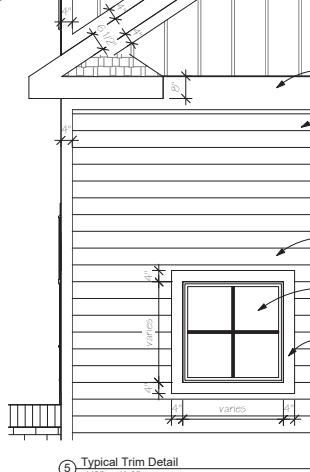
(2) ROD & SHELF (RAS)  $\pm$  40" & 80" A.F.F.

SHOWER CORNER SHELF  $\pm$  95" A.F.F.

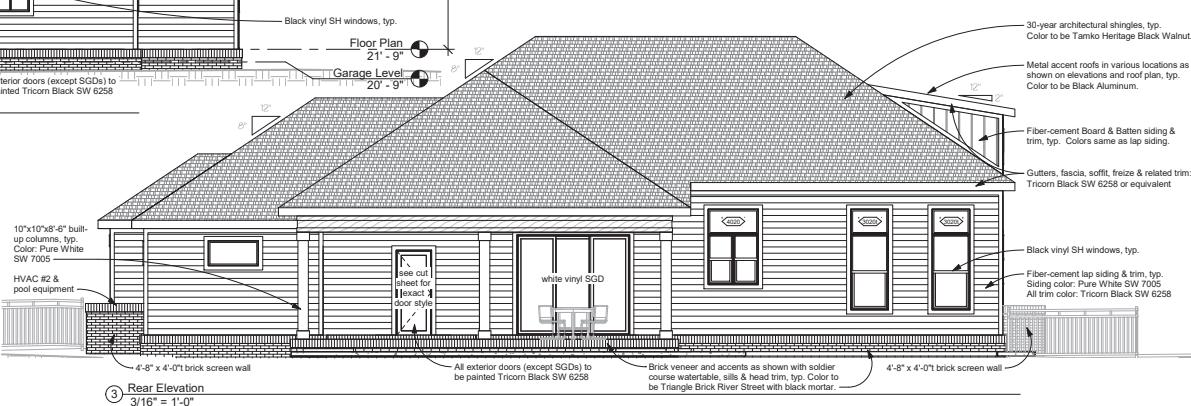
MEDICINE CABINET (MO)  $\pm$  48" A.F.F.

## Area Summary

Name	Heated	Enclosed	Under Roof	Area
First Floor	2,097 SF			2,097 SF
Bonus Room	430 SF			430 SF
Garage		649 SF		649 SF
Covered Patio			437 SF	437 SF
Front Porch			46 SF	46 SF
	2,527 SF	649 SF	483 SF	3,660 SF



Name	Heated	Enclosed	Under Roof	Area
First Floor	2,097 SF		2,097 SF	
Bonus Room	450 SF		450 SF	
Garage	649 SF		649 SF	
Covered Patio		437 SF	437 SF	
Front Porch		46 SF	46 SF	
	2,527 SF	649 SF	483 SF	3,660 SF



**ARB Set**

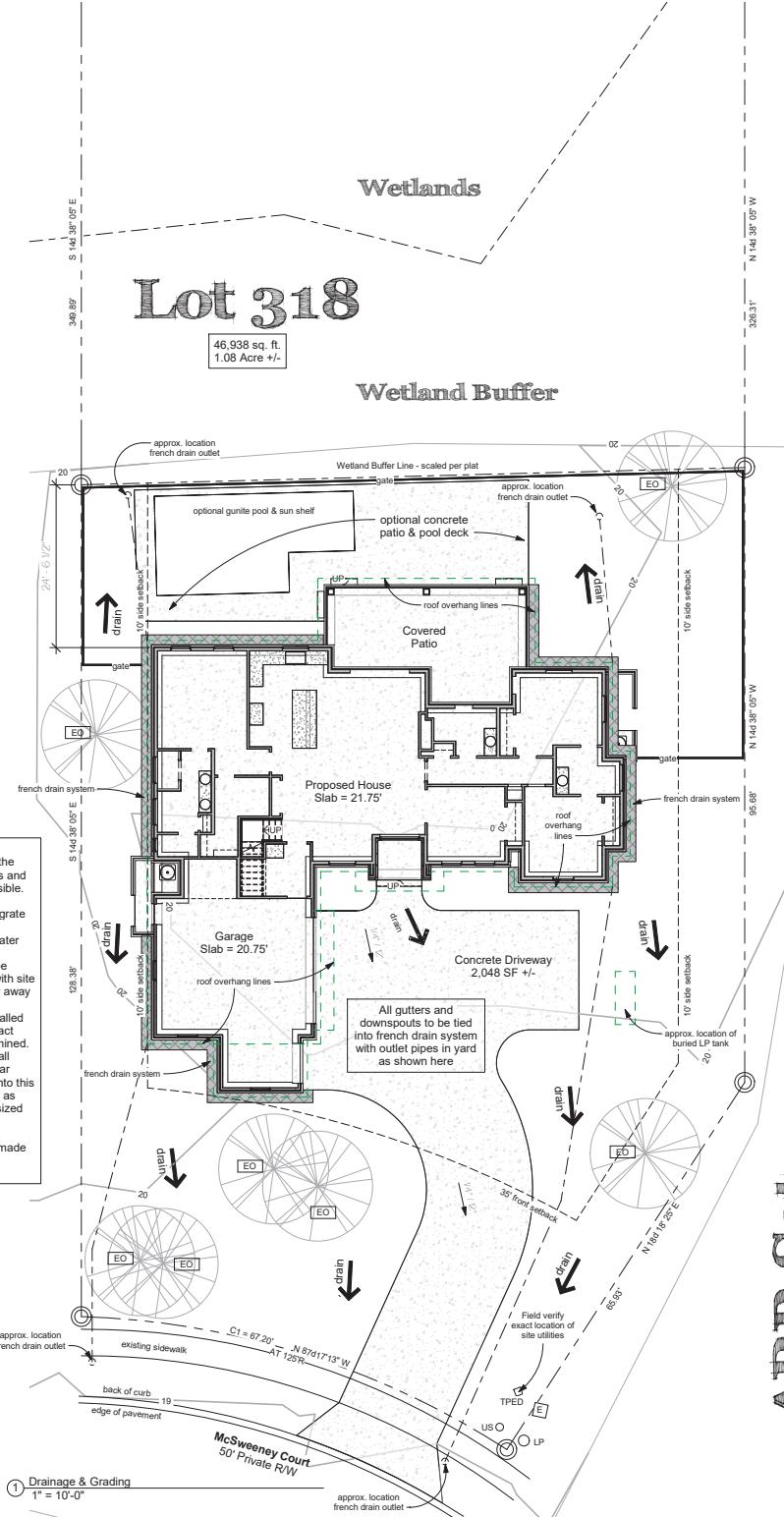
Lot 318

46,938 sq.  
1.08 Acre

### Wetland Buffer

**Drainage Notes:**

- 1) Lot shall be sloped away from the house towards the street, wetlands and existing drainage as much as possible.
- 2) Overall site drainage shall be designed and implemented to integrate and utilize neighborhood drainage systems including swales, stormwater and natural areas/wetlands.
- 3) Gutters and downspouts shall be designed and installed to integrate with site drainage and effectively direct water away from the property.
- 4) French Drain system to be installed as indicated on Drainage Plan, exact size and location to be field determined. As much as reasonably possible, all downspouts, floor drains and similar drainage elements are to be tied into this french drain with outfall positioned as shown. French drain piping to be sized appropriately based on gutter and downspout drainage to be handled.
- 5) All reasonable efforts shall be made to direct surface drainage away from neighboring lots/homes.

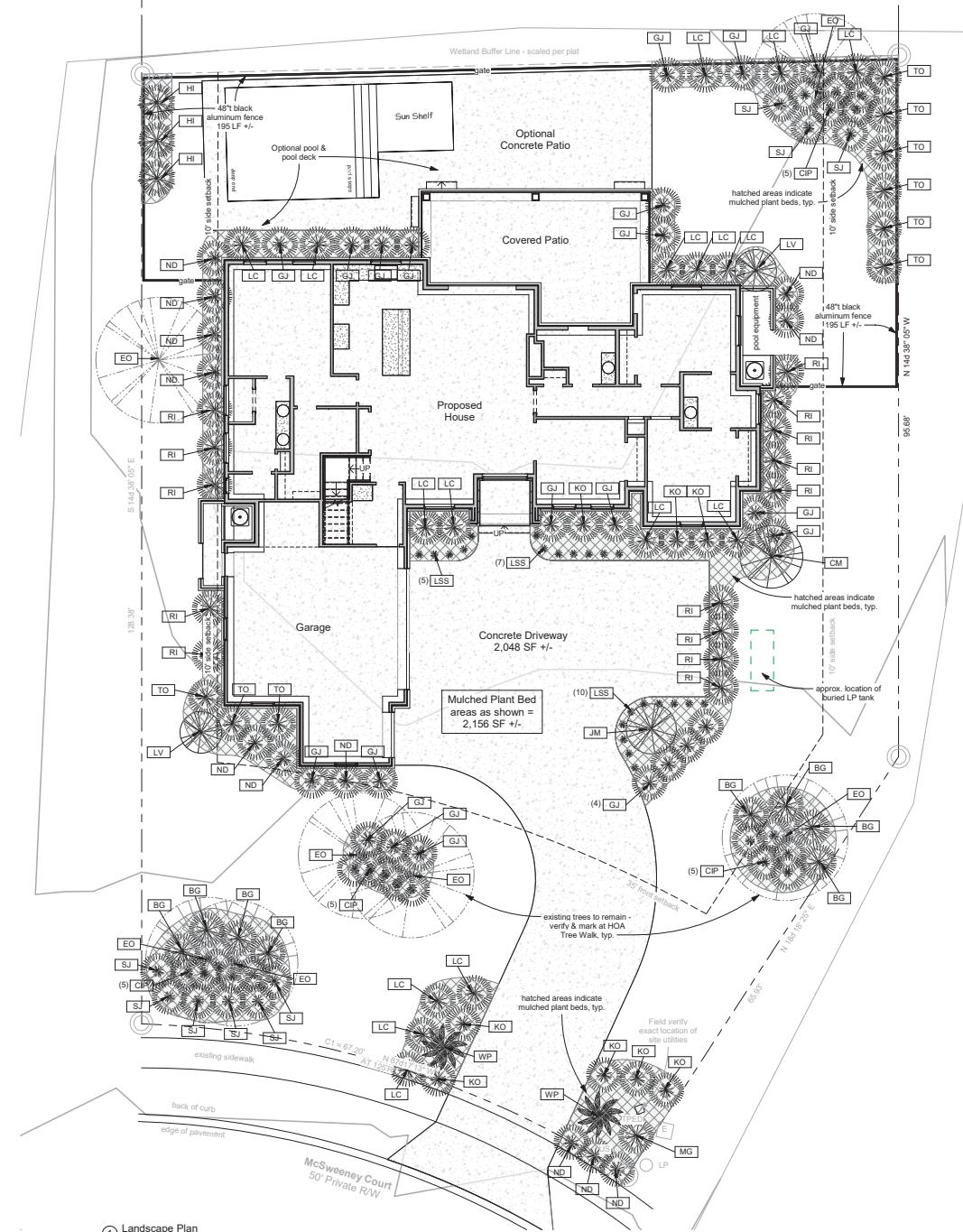




# Lot 318

46,938 sq. ft.  
1.08 Acre +/-

## Wetland Buffer



### Landscape Notes:

- Owner and builder reserve the right to substitute plant varieties as needed due to availability, seasonality or similar issues. Substituted plants shall be similar in character and nature to the original.
- All existing pine trees are to be removed due to their proximity to the house/utilities and likely damage to both the trees and the house either during construction or in the future. Refer to survey for complete existing tree inventory.
- All plant beds shall be covered to a minimum 2" depth with a shredded hardwood mulch as selected by the owner in accordance with the ARB. The plant beds as shown cover a total area of approximately 2,156 SF.
- All areas not built, paved or landscape beds shall be sodded or seeded with centipede grass in accordance with ARB guidelines.
- All landscaped areas of the property, including all grass and plant bed areas shall be watered with an automated, multi-zone irrigation system. This system shall be professionally designed and installed in accordance with ARB guidelines. The control box is to be located based upon the owner's preference.
- All landscaping shall be maintained and upkeep according to ARB and community standards.
- Landscape Lighting:** Pathway lights: Low-voltage or solar LED pathway lights shall be located along the front walk and driveway at the discretion of the homeowner.
- Up-lighting of Trees:** Each of the hardwood trees, palm trees and ornamental trees may be uplit in accordance with ARB guidelines at the discretion of the homeowner.
- Plant bed borders, if any, are to be selected by the owner and shall comply with any and all ARB and community guidelines.

## Planting Schedule

Category	Quantity	Type Mark	Common Name	Botanical Name	Variant/ Cultivar	Planting Size	Mature Growth
Tree - Existing	7	EO	Existing Oak	Quercus	EXISTING to remain	4" caliper or greater	
Tree	1	CM	Crape Myrtle	Lagerstroemia indica	"Tuscarora"	30 gal	20-25' tall mature
Tree	1	JM	Japanese Maple	Acer Palmatum	"Bloodgood"	30 gal	12-19' mature
Tree	2	WP	Windmill Palm	Trachycarpus Fortunei	Windmill Palm	30 gal	15-20' mature
Tree	2	LY	Loquat	Eriobotrya Japonica	"Vaniegata"	15 gal	20-25' tall mature
Shrub	3	HI	Holly Ilex	Ilex Glabra		7 gal	up to 10' tall
Shrub	8	KO	Knock-out Rose	Rosa hybrid	"Double Pink"	7 gal	3' wide & tall
Shrub	9	TO	Tea Olive	Osmanthus Heterophyllus	"Rotundifolius"	7 gal	4-5' tall & wide
Shrub	8	BG	Breeze Grass	Carex Mornwii	Matt Rush	3 gal	3' wide x 4' tall
Shrub	22	GJ	Gardenia	Gardenia Jasminoides	"Frostproof"	3 gal	3' wide & tall
Shrub	16	LC	Loropetalum	Loropetalum Chinense	"Purple Pixie"	3 gal	4' wide x 2' tall
Shrub	1	MG	Muhly Grass	Muhlenbergia Capillaris	pink	3 gal	3' wide x 4' tall
Shrub	12	ND	Nandina	Nandina Domestica	"Firepower"	3 gal	4' wide & tall
Shrub	14	RI	Indian Hawthorn	Rhamnus Indica	"Georgia Petite"	3 gal	3' wide & tall
Ground cover	22	LSS	Linope	Linope Muscari	"Silvery Surprise"	9-12" (1 gal)	12-15' tall
Ground cover	9	SJ	Shore Juniper	Juniper Conferta	"Blue Pacific"	3-4' spread	12-18' tall & 6-8' spread
Ground cover	20	CIP	Cast Iron Plant	Aspidistra Elatior	Variegated	3 gal	18"-24" tall
Grand total:		157					