



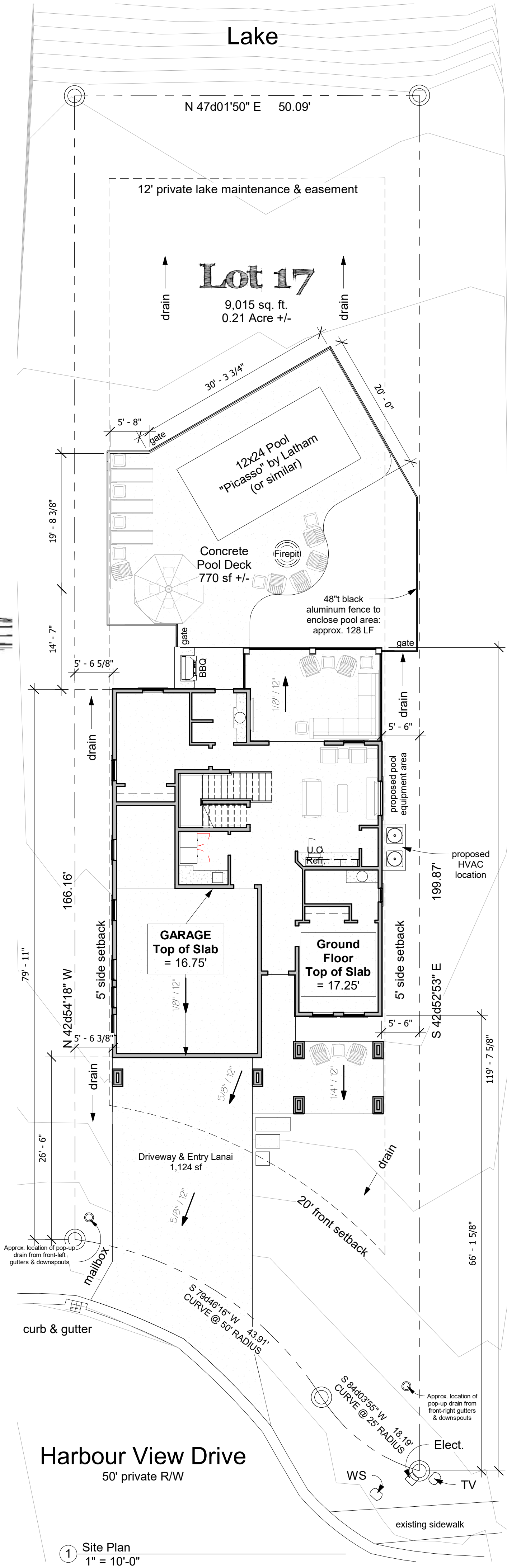
Area Summary			
Area Name	Heated	Unheated	Area
2nd Level Heated	1,617 SF		1,617 SF
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Grand total: 7	2,789 SF	1,592 SF	4,382 SF

Sheet List	
Number	Sheet Name
A0	Cover & Site
A1	Ground Floor Plan
A2	2nd Floor Plan
A3	Roof Plan & 3D
A4	Front & Rear
A5	Side Elevations
A6	Drainage & Landscape

Boardwalk on the Waterway lot 17

GENERAL PROJECT NOTES:

- DO NOT SCALE DRAWINGS.** CONTRACTOR SHALL RELY ON WRITTEN DIMENSION AS SHOWN. DIMENSIONS SHOWN ARE TO FACE OF STUD/CMU, FINISH FACE OF MASONRY/CONCRETE, CENTER OF OPENING (IN FRAME WALLS), SIDE OF OPENING (CMU WALLS), CENTER OF FIXTURES AND OTHER FEATURES, UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE BUILDER OR CONTRACTOR AND COORDIATE WITH ALL AFFECTED TRADES OR SPECIALTIES. IN CASE OF ANY CONFLICTS OR DISCREPANCIES, CONTACT THE DESIGNER AND OWNER IN WRITING FOR ADDITIONAL INFORMATION, CLARIFICATION OR REVISIONS BEFORE COMMENCING OR RESUMING WORK. WHEN CONFLICTS ARISE, THE DESIGNER AND OWNER SHALL COORDINATE WITH THE BUILDER AND ANY CONSULTANTS, ENGINEERS, SUPPLIERS OR VENDORS TO RESOLVE THE ISSUE TO PROVIDE THE BEST SOLUTION AVAILABLE FOR THE OWNER.
- CONSULTANT, ENGINEERING AND SHOP DRAWINGS ARE SUPPLEMENTAL TO THIS DRAWING SET. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COORDINATE ANY SUPPLEMENTAL DRAWINGS WITH THIS DRAWING SET TO VERIFY THAT ALL SYSTEMS AND FEATURES INTEGRATE AND COINCIDE WITH THE DESIGN INTENT WITHIN THIS DRAWING SET. CONTRACTOR SHALL PRESENT ANY CONFLICTS OR DISCREPANCIES TO THE DESIGNER AND OWNER IN WRITING FOR CLARIFICATION AND RESOLUTION.
- THE BUILDER, CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. ANY ASSOCIATED FEES, REVIEWS AND EXPENSES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION, AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF ALL WORK UNLESS NOTED OTHERWISE IN THE DRAWING SET. ALL EQUIPMENT, INSTALLATION, COMPONENTS AND WARRANTIES SHALL COMPLY WITH ALL CURRENT AND APPLICABLE CODES AND REGULATIONS IN ADDITION TO ANY CONTRACT DOCUMENTS WITH THE OWNER.
- THE BUILDER, CONTRACTOR AND ALL SUBCONTRACTORS SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ANY DAMAGE CAUSED BY CONTRACTOR PERSONNEL TO THE SATISFACTION OF BOTH THE OWNER AND DESIGNER. ALL REASONABLE EFFORTS SHALL BE MADE TO PROTECT AND SECURE ALL MATERIALS, SUPPLIES AND FINISHES FROM DAMAGE, WEATHER, THEFT AND VANDALISM.
- UNLESS SPECIFIED OR NOTED OTHERWISE, ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY CODE OR FOR THE PROPER INSTALLATION, OPERATION OR MAINTENANCE OF MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT. WHETHER INDICATED ON THE DRAWING SET OR NOT, THE CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH ALL AFFECTED CONTRACTORS' WORK. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHOUT THE EXPRESSED APPROVAL OF THE OWNER AND DESIGNER.
- ANY WORK IMPROPERLY INSTALLED OR IN CONFLICT WITH THIS DRAWING SET OR CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE SOLE EXPENSE OF THE RESPONSIBLE CONTRACTOR(S). NO ADDITIONAL EXPENSES OR FEES SHALL BE PASSED ON TO THE OWNER, DESIGNER, ENGINEERS OR CONSULTANTS TO REMEDY THE IMPROPER WORK. IF NECESSARY, ANY DESIGN, ENGINEERING OR CONSULTANT FEES REQUIRED TO REMEDY THE IMPROPER WORK SHALL BE THE RESPONSIBILITY OF THE RESPONSIBLE CONTRACTOR(S).
- THE SIZE, TYPE, SHAPE AND LOCATION OF MECHANICAL EQUIPMENT, FIXTURES, EQUIPMENT PADS AND BASES CONTAINED WITHIN THE DRAWING SET AND CONTRACT DOCUMENTS ARE APPROXIMATE ONLY, UNLESS SPECIFICALLY NOTED. THE CONTRACTOR SHALL VERIFY DIMENSIONS WITH OTHER TRADES AND/OR THE MANUFACTURER/SUPPLIER.
- THE BUILDER AND/OR CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM FOR ALL TRADES PERFORMING WORK ON THE PREMISES. THIS SHOULD INCLUDE BUT IS NOT LIMITED TO THE ISOLATION OF WORK AREAS, STORAGE AREAS, AND THE PROMPT REMOVAL OF ANY DEBRIS, WASTE, TOOLS & EQUIPMENT WHICH MIGHT ENDANGER VISITORS, VENDORS AND CONSULTANTS OF THE OWNER OR DESIGNER.
- THE BUILDER AND/OR CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF ANY AND ALL UTILITIES AND SERVICE PROVIDERS TO VERIFY AVAILABLE FACILITIES AND ARRANGE FOR TEMPORARY SERVICES AS NEEDED. IN ADDITION, THE BUILDER AND/OR CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT, RELOCATION OR DEMOLITION OF EXISTING UTILITIES THAT MAY EXIST BOTH ABOVE AND BELOW GRADE WITH RESPECTIVE UTILITY OR SERVICE PROVIDERS.
- SUBSTITUTIONS OR EQUALS:** REFERENCES TO MAKERS, BRAND, MODELS, ETC., IS TO ESTABLISH AND COMMUNICATE THE TYPE AND QUALITY OF MATERIALS AND/OR EQUIPMENT DESIRED FOR THE PROJECT. SUBSTITUTION WITH ACCEPTABLE EQUIVALENTS SHALL BE APPROVED BY THE DESIGN AND OWNER PRIOR TO BID, PURCHASE OR INSTALLATION (UNLESS NOTED OTHERWISE).
- ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE, OF SPECIFIED QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THIS PROJECT.
- SHOP DRAWINGS:** SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL EQUIPMENT, MATERIALS AND SYSTEMS SUCH AS TRUSSES WHICH MUST INTEGRATE AND COORDINATE WITH OTHER SYSTEMS OR MUST BE REVIEWED FOR QUALITY OR EQUIVALENCY TO SPECIFIED MATERIALS, WHETHER DETAILED IN THE CONSTRUCTION SET OR NOT.
- FINAL CLEAN-UP AND DISPOSAL:** THE BUILDER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION DEBRIS, TRASH, AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AEA AND PAY ALL HAULING AND DUMPING COSTS. ALSO, THE BUILDER/CONTRACTOR WILL OBSERVE AND OBEY ALL APPLICABLE LAWS, REGULATIONS, AND ORDERS REGARDING COMPLETION OF PROJECT AND WORK CLEAN-UP. ALL AREAS OF THE PROJECT AND PROPERTY AFFECTED BY CONSTRUCTION SHALL BE LEFT VACUUM-CLEANED AND FREE FROM DIRT AND DEBRIS. THIS SHALL INCLUDE BUT IS NOT LIMITED TO: CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, SCUFF MARKS, PAINT SPOTS, RUNS AND DRIPS AND ANY OTHER SIMILAR MESSSES AND BLEMISHES.
- THE STRUCTURAL ENGINEER AND DESIGNER SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING, REINFORCING AND/OR BRACING SATISFACTORY TO THE STRUCTURAL ENGINEER SHALL BE PROVIDED BY THE BUILDER/CONTRACTOR PRIOR TO CUTTING INTO THE STRUCTURAL PORTIONS OF ANY BUILDING.
- THE BUILDER/CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING FLOOR-TO-FLOOR ELEVATIONS. ANY NEW WORK SHOULD ALIGN WITH RESPECTIVE FLOORS, CEILINGS, AND ANY OTHER ADJACENT FINISHES.
- THE BUILDER/CONTRACTOR WILL RE-LOAM, RE-SEED AND/OR RE-SOD ANY AREAS DISTURBED BY CONSTRUCTION.
- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER AND CONSULTANTS TO THE DESIGNER AND ENGINEERS. THE DESIGNER AND ENGINEER DOES NOT WARRANT EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF EXISTING INFORMATION RECORDED. THE BUILDER/CONTRACTOR SHALL FIELD VERIFY ANY AND ALL EXISTING CONDITIONS. THE BUILDER/CONTRACTOR SHOULD NOTIFY THE DESIGNER AND ENGINEER, IN WRITING, OF ANY DISCREPANCIES FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.



Survey Notes:

- This site plan was drawn based from the survey by Spartina Land Surveying dated 09/03/2020. Owner and builder are responsible for verifying all survey information. Refer to survey for existing elevations, conditions and other details.
- Dimensions to locate the house are measured from face of CMU/stud perpendicular to property lines.
- Horonzy Design & Development and its associates are not liable for any errors, omissions or defects from information in this survey and shall be held harmless against any claims.

Drainage Notes:

- Lot shall be sloped away from the house towards the street and existing drainage as much as possible.
- Overall site drainage shall be designed and implemented to integrate and utilize neighborhood drainage systems including swales, stormwater, ponds/lakes and natural areas/wetlands.
- Gutters and downspouts shall be designed & installed to integrate with site drainage to effectively direct water away from the property.
- French Drain system to be installed adjacent to side property lines, exact size and location to be field determined. As much as reasonably possible, all downspouts, floor drains and similar drainage elements are to be tied into this french drain with outfall positioned near the street or pond/lake. French drain piping to be sized appropriately based on gutter and drainage capacity.
- All reasonable efforts shall be made to direct site drainage away from neighboring lots/homes.
- See Drainage Plan on Sheet A6 for more details and information.**

Window Schedule						
Level	Type Mark	Quantity	Nominal Size		Head	Comments
			Width	Height	Height	
Ground Floor	2040	1	2' - 0"	4' - 0"	8' - 0"	
Ground Floor	3030f	4	3' - 0"	3' - 0"	8' - 0"	
Ground Floor	3060	6	3' - 0"	6' - 0"	8' - 0"	
Ground Floor	5020f	1	5' - 0"	2' - 0"	8' - 0"	

2nd Level	2030f	1	2' - 0"	3' - 0"	11' - 8"	
2nd Level	2040	2	2' - 0"	4' - 0"	8' - 0"	
2nd Level	2050f	1	2' - 0"	5' - 0"	8' - 0"	
2nd Level	3030f	5	3' - 0"	3' - 0"	8' - 0"	
2nd Level	3060	3	3' - 0"	6' - 0"	8' - 0"	
2nd Level	4020	1	4' - 0"	2' - 0"	8' - 0"	
2nd Level	5020f	2	5' - 0"	2' - 0"	8' - 0"	

Grand total: 27

Door Schedule						
Level	Door #	Door Size	Swing	Door Type	Style	Comments
Porch Level	3070s	36" x 84"		Screen		
Ground Floor	2668	30" x 80"				
Ground Floor	2680	30" x 96"				
Ground Floor	2680	30" x 96"				
Ground Floor	2880	32" x 96"				
Ground Floor	2880	32" x 96"				
Ground Floor	2880	32" x 96"				
Ground Floor	2880g	32" x 96"				
Ground Floor	3080	36" x 96"				
Ground Floor	3080	36" x 96"				
Ground Floor	3080g	36" x 96"				
Ground Floor	3080g	36" x 96"				
Ground Floor	5080	60" x 96"				
Ground Floor	6080	72" x 96"				
Ground Floor	8080	8080	Sliding			
Garage Level	18080	18'-0" x 8'-0" simple				
2nd Level	2480	28" x 96"				
2nd Level	2880	32" x 96"				
2nd Level	2880	32" x 96"				
2nd Level	2880	32" x 96"				
2nd Level	2880p	32" x 96"				
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2nd Level	8080	8080	Sliding			
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FLOOR PLAN NOTES:

VERIFY ALL WINDOW & DOOR ROUGH OPENING SIZES WITH MANUFACTURER SPECIFICATIONS.

DRYWALL: USE SQUARE CORNER BEAD AT ALL CORNERS UNLESS NOTED OTHERWISE. ALL RECESSED AND PROJECTED CEILING SURFACES SHALL BE SMOOTH FINISH.

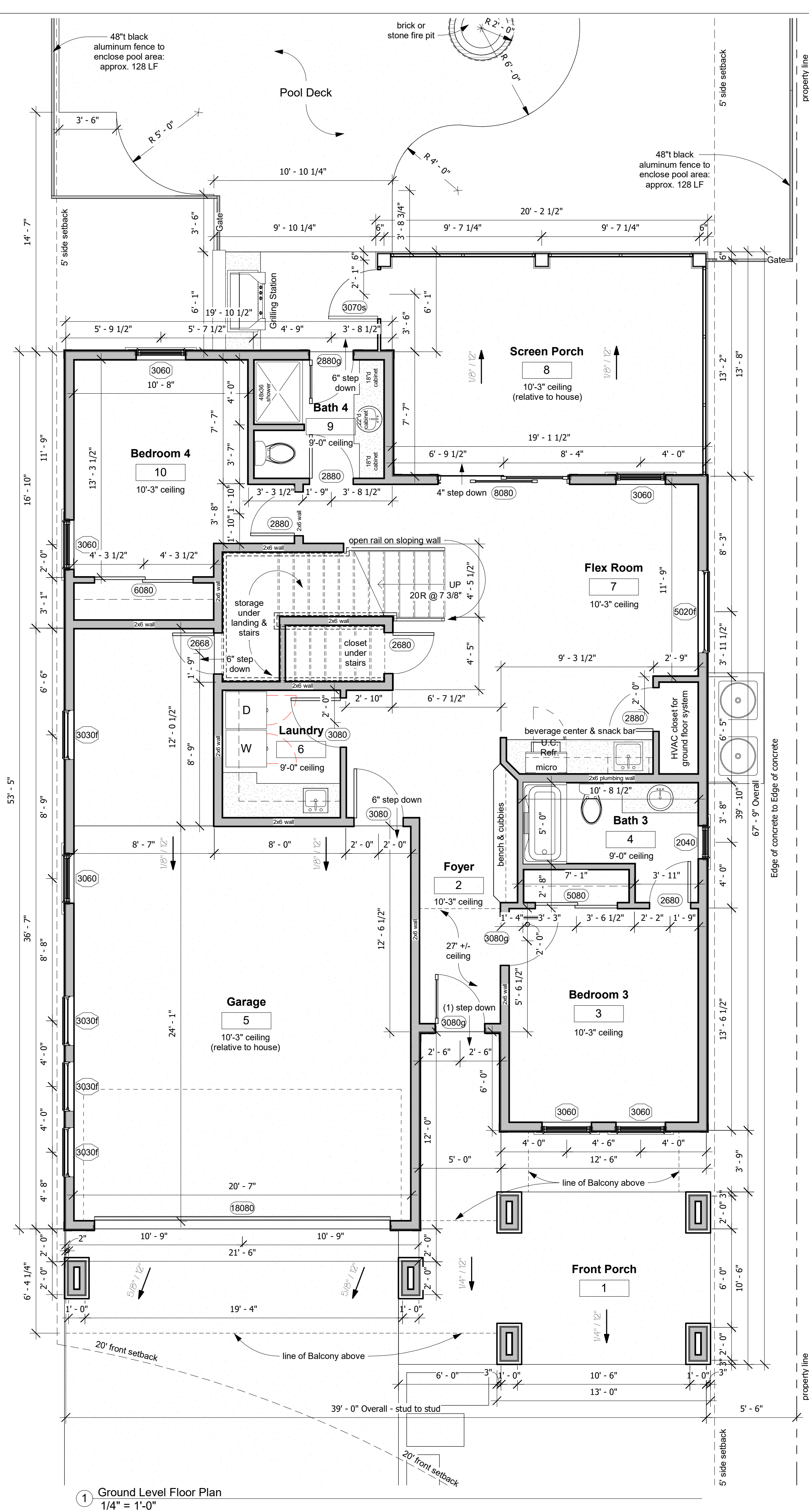
LOCATE ALL PLUMBING & EXHAUST STACKS BEYOND THE FRONT ELEVATION ROOF RIDGES, IF ALLOWABLE PER CODE.

THE GARAGE IS TO BE SEPARATED FROM ADJACENT LIVING AREA AND ATTIC SPACE BY 1/2" GYP. BD. AND HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYP. BD. (OR EQUIVALENT) INSTALLED ON THE GARAGE SIDE.

ACCESSORY INFORMATION:

TOWEL BAR MOUNT @ 42" A.F.F.
TOWEL BAR ABOVE TUB DECK @ 36" ABOVE TUB
TOILET PAPER HOLDER @ 24" A.F.F.
(1) ROD & SHELF (R&S) @ 60" A.F.F.
(2) ROD & SHELF (R&S) @ 40" & 80" A.F.F.
SHOWER CORNER SHELF @ 56" A.F.F.
MEDICINE CABINET (MC) @ 48" A.F.F.

Area Summary			
Area Name	Heated	Unheated	Area
2nd Level Heated	1,617 SF		1,617 SF
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1 Ground Level Floor Plan
1/4" = 1'-0"

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FLOOR PLAN NOTES:

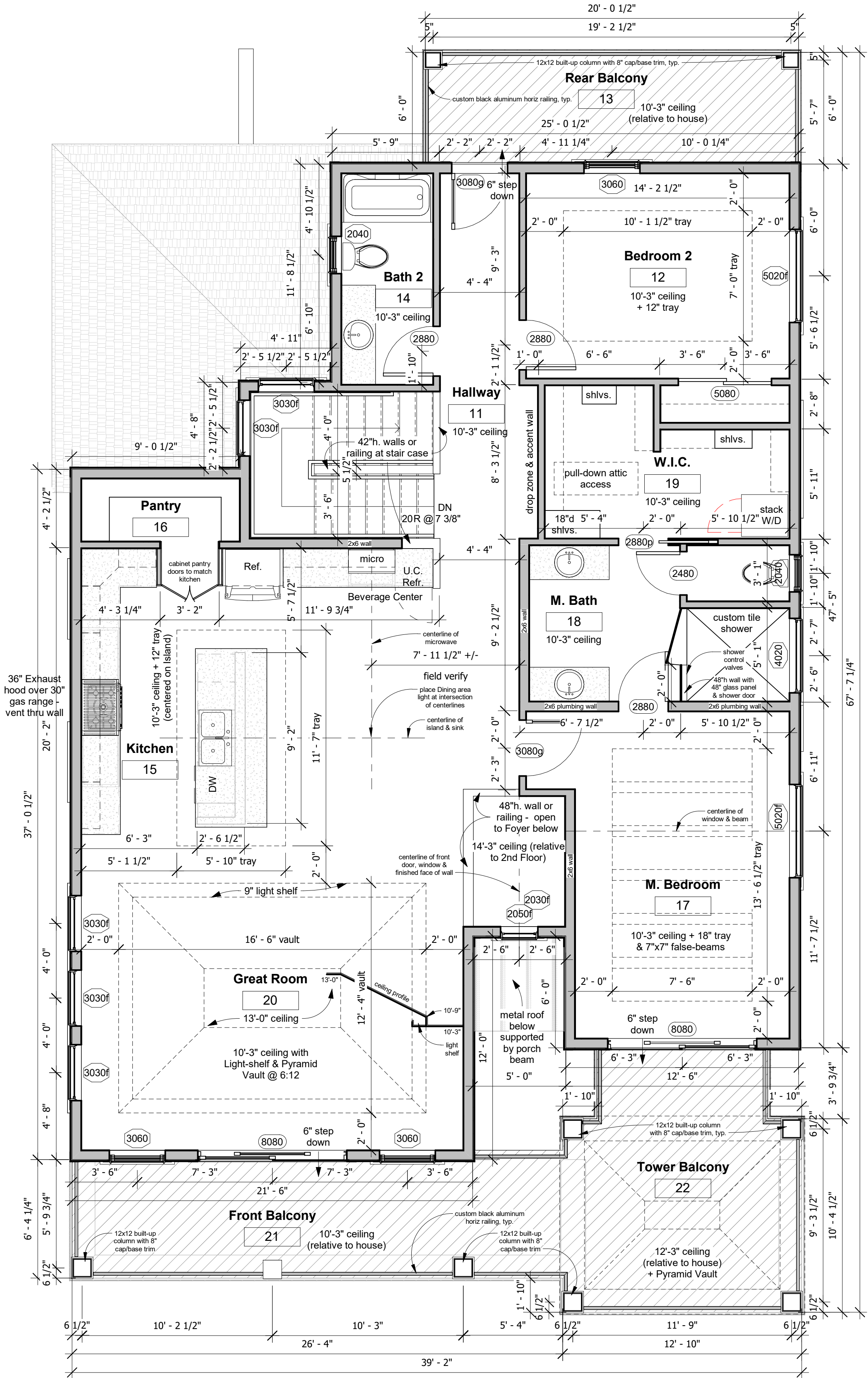
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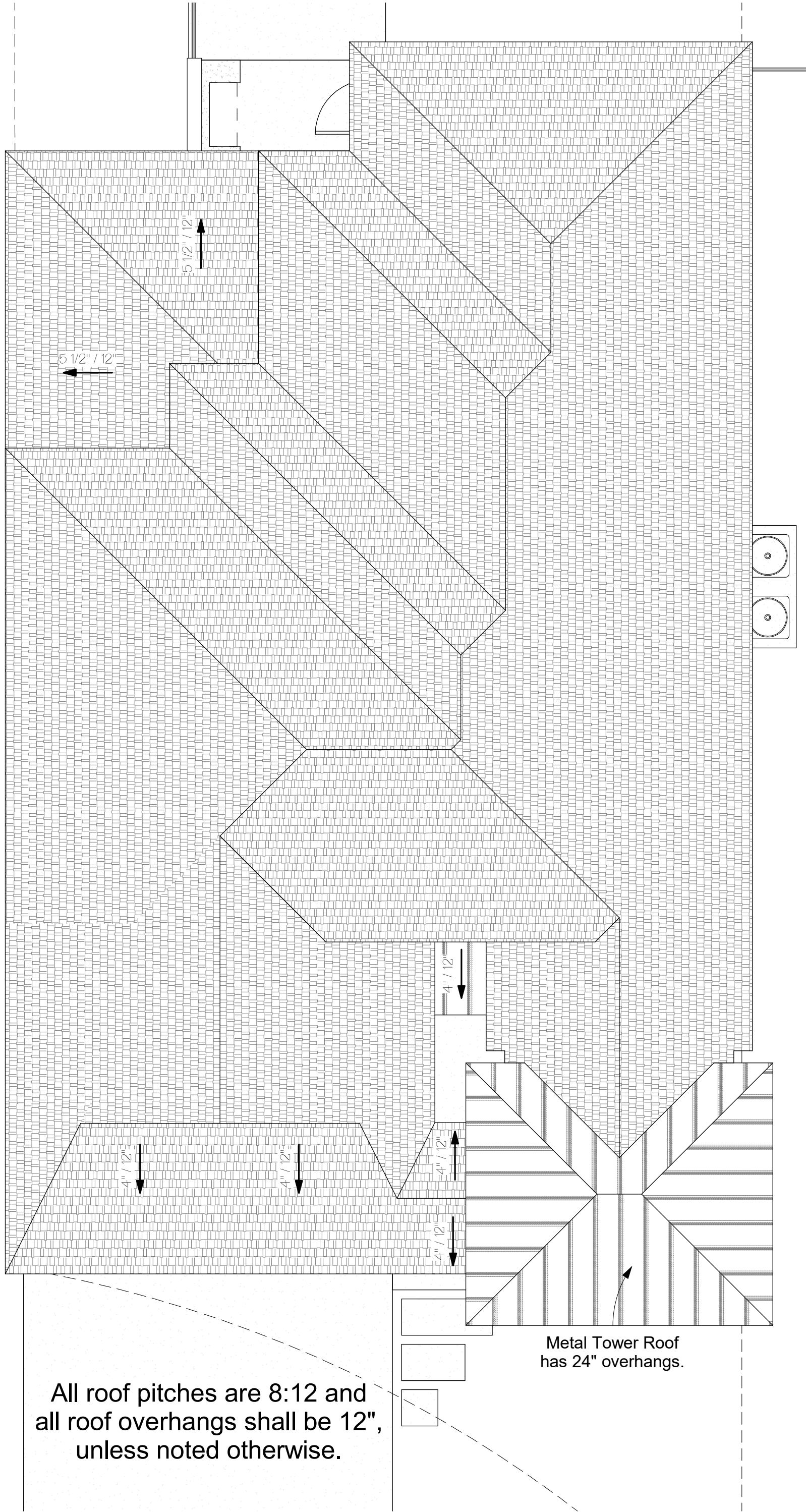


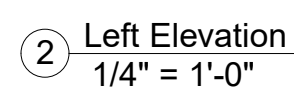
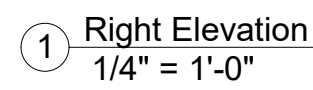
1 Second Level Floor Plan
1/4" = 1'-0"

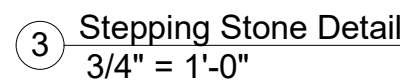
FLASHING NOTES:
INSTALL FLASHING IN ACCORDANCE WITH IRC RESIDENTIAL 6TH EDITION (2017), SECTION R703.4 AND IN ACCORDANCE WITH STANDARD APPLICATIONS ILLUSTRATED IN THE ARCHITECTURAL SHEET METAL MANUAL (LATEST EDITION) AS PUBLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION, INC.

ROOF NOTES:
ROOF CRITERIA:
- 12" OVERHANGS, TYPICAL - UNLESS NOTED OTHERWISE
- PLUMB CUT FASCIA
- ROOF PITCHES ARE 8 : 12 UNLESS NOTED OTHERWISE
- WINDLOAD CALCS PER ACSE 7-98 OR 7-10 (VARIES BY LOCATION)
- SHINGLE LOADING
- ALL TRUSSES TO BE DESIGNED TO MAXIMIZE MECHANICAL AND/OR ATTIC SPACE

ATTIC VENTILATION:
ATTIC VENTILATION TO BE IN COMPLIANCE WITH THE IRC 6TH EDITION RESIDENTIAL R806. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. THE VENTILATED AREA MAY BE REDUCED TO 1/300 PROVIDED THAT AT LEAST 40% BUT NO MORE THAN 50% OF THE REQUIRED VENTILATION IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 36" (MEASURED VERTICALLY) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

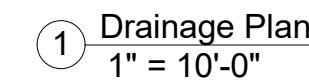
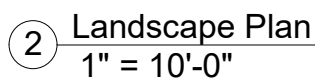






Landscape Notes:

- 1) All areas that are not built, paved or plant beds shall be planted with centipede sod, from back of curb to seawall/boardwalk.
- 2) All foundation plants, or plants adjacent or in front of foundations or walkways, shall be at least 24" tall at time of planting. Refer to schedule for details.
- 3) Trees provided shall comply with ARB guidelines - refer to schedule and plan.
- 4) An irrigation system with multiple zones and timers shall be designed and installed by a professional irrigation or landscape subcontractor. The system is to be designed to maximize efficiency and effectively serve all planting areas while minimizing overspray and excessive run-off. System is to be maintained and functional to ensure healthy plants and lawns.
- 5) Plant beds as drawn on landscape plan are approximate and may vary in exact size and shape as needed at time of installation.
- 6) All plant beds shall be mulched with a shredded cypress, pine bark or similar natural mulch with at least 2" deep coverage.
Mulched beds = 1,125 sq. ft. +/-
- 7) Refer to landscape plan and schedule for all plant information, size and locations. Irrigation subcontractor to supply a diagram for ARB if requested.
- 8) Owner or contractor reserve the right to substitute similar plants, variants or species as needed depending upon seasonal or market availability of plants.
- 9) All landscape features shall be maintained and trimmed in a healthy fashion at reasonable intervals to ensure the overall curb appeal of the property.
- 10) Landscape edging is to be natural trench edging between lawn and plant bed areas. Any other edging product or material must be approved by the ARB.



Drainage Notes:

- 1) Lot shall be sloped away from the house towards the street, lake and existing drainage as much as possible.
- 2) Overall site drainage shall be designed and implemented to integrate and utilize neighborhood drainage systems including swales, stormwater and natural areas/wetlands.
- 3) Gutters and downspouts shall be designed & installed to integrate with site drainage to effectively direct water away from the property.
- 4) French Drain system to be installed adjacent to side property lines, exact size and location to be field determined. As much as reasonably possible, all downspouts, floor drains and similar drainage elements are to be tied into this french drain with outfall near the Lake or front of the lot. French drain piping to be sized appropriately based on gutter and drainage capacity it must handle.
- 5) All reasonable efforts shall be made to direct site drainage away from neighboring lots/homes.

