

Lot 32
14,074 sq.ft.
0.32 Acre +/-

underbrushed - thinned, but natural
cleared

Concrete Patio

House Top of Slab = 88.0' OR min. 18" above back of curb

Driveway & Walk 785 SF

10' utility easement

15' rear setback

10' side setback

25' front setback

12' - 10 1/4"

13' - 6 3/4"

13' - 6 1/4"

10' side setback

12' - 10 1/4"

26' - 0"

191.68'

N 06d 07' 46" E

S 07d 42' 08" W

110' - 0"

196.04'

26' - 0"

C1 = 70.00' N 83d 04' 47" W @ 2550'R

Timber Creek Drive

50' Private R/W

4 Site Plan
1" = 10'-0"

all roof pitches are 7:12

First Level Floor Plan
 1/4" = 1'-0"

Overall Dimensions:
 50' - 7" Overall - stud to stud
 45' - 0" Overall - stud to stud

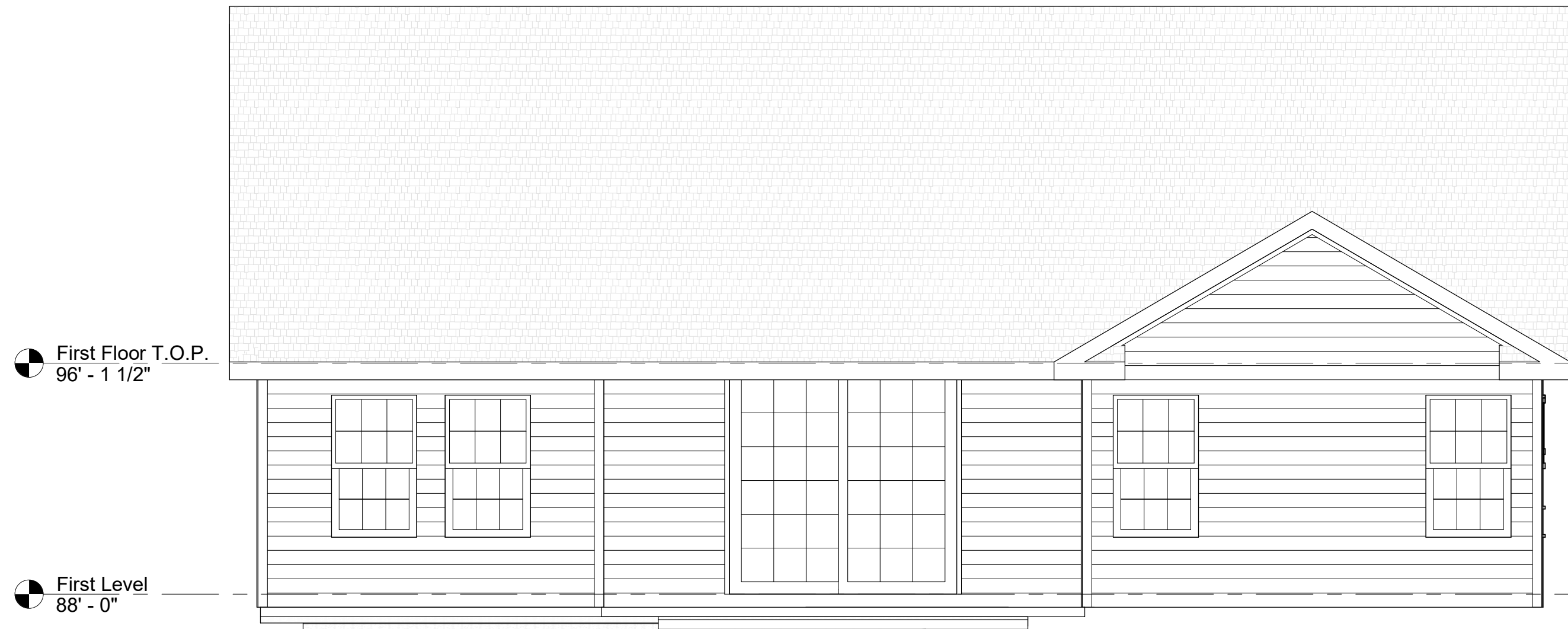
Rooms and Details:

- Garage (13):** 22' - 0" x 21' - 0". Includes a note: "All dimensions are to either: face of stud, center of opening, center of column, or edge of concrete."
- Front Porch (1):** 8' - 0" x 13' - 3 1/2".
- Foyer (2):** 10' - 4" x 7' - 8 1/2".
- Great Room (6):** 10' - 4" x 20' - 5". Includes beams @ 11'-2", 10'-4" ceiling, 12'-0" ceiling, and attic/mechanical above baths & W.I.C. (verify with truss design).
- Dining (10):** 9' - 3" x 12' - 2 1/2". Vaulted from 8'-0" to 10'-4" flat ceiling.
- Kitchen (11):** 10' - 4" x 9' - 3". Includes counter height island & dining bar, DW, and House Top of Slab = 88.0' OR min. 18" above back of curb.
- Laundry (12):** 8' - 0" x 5' - 9 1/2".
- Pantry:** 8' - 0" x 5' - 10 1/2". Includes 12" shelves.
- M. Bedroom (7):** 16' - 0" x 12' - 6 1/2". Includes 8' - 0" ceiling, 9' - 0" ceiling, and tray ceiling.
- M. Bath (8):** 7' - 6 1/2" x 5' - 7". Includes 72" vanity.
- W.I.C. (9):** 8' - 0" x 4' - 5".
- Bath 2 (5):** 8' - 0" x 5' - 0".
- Bedroom 3 (4):** 11' - 1 1/2" x 8' - 0". Includes vaulted ceiling.
- Bedroom 2 (3):** 13' - 6" x 13' - 7". Includes vaulted ceiling and slope at 3:12.

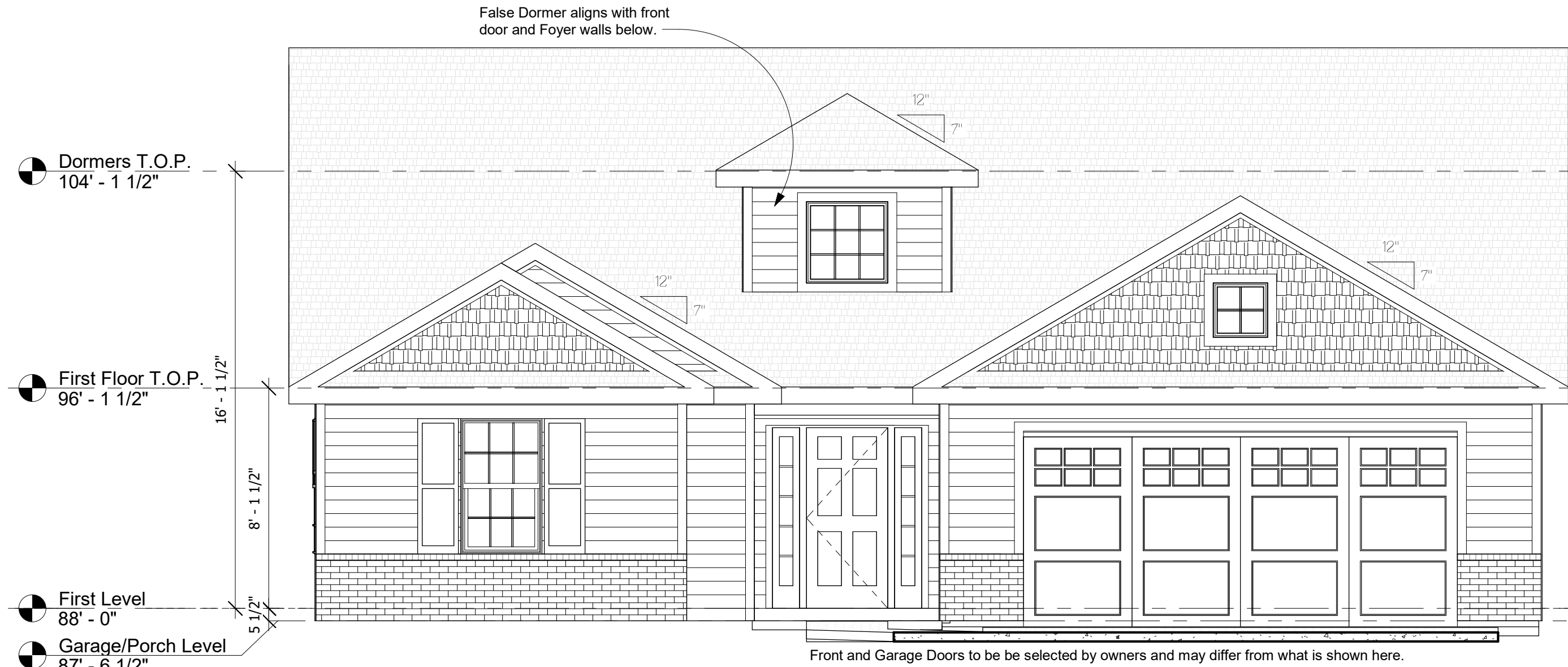
Other Features:

- Covered Porch (14):** 17' - 0" x 8' - 6". Includes vaulted ceiling and rear roof overhang.
- Concrete Patio:** 130 sf.
- Dimensions:** Various room and section dimensions are provided throughout the plan.
- Notes:** "Slope at 4:12" and "Slope at 3:12" are indicated in several areas.

Project Number:		22-23
Consultant: Address Address Phone Phone Fax e-mail	Consultant: Address Address Phone Phone Fax e-mail	
Latest Revision Date:		Sept 1st, 2022
Designed & Drawn by:		Ken Gorski
Scale: <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> As indicated </div> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> Sheet Name: </div>	<div style="font-size: 100px; line-height: 1;">A1</div>	
<div style="font-size: 40px; font-weight: bold;">Floor Plans</div>		



② Rear Elevation
1/4" = 1'-0"



① Front Elevation
1/4" = 1'-0"



③ Left Elevation
1/4" = 1'-0"



④ Right Elevation
1/4" = 1'-0"

Area Summary		
Area Name	Area	Perimeter

First Floor Heated	1,549 SF	205'-6"
Garage	460 SF	86'-4"
Front Porch	35 SF	24'-0"
Covered Patio	119 SF	47'-11"
Grand total: 4	2,162 SF	

Another fine project by DRD Holdings:

Woodland Valley lot 32

The Heron 1500 Model

South Carolina

Harley County,

Horonzy
Design &
Development

Designed by Ken Gorski at
Horonzy Design & Development
413 79th Avenue N., Myrtle Beach, SC 29572
(843) 449-9444 Ext. 5258

This house design is the intellectual property of
Horonzy Design & Development, LLC.
Contractor is responsible for verifying
compliance with any and all applicable codes.

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Scale:

1/4" = 1'-0"

Sheet
Name:

A2

Elevations

Landscape Legend						
Category	Quantity	Symbol	Common Name	Botanical Name	Planting Size	Mature Size
Tree	2	CM	Crape Myrtle	Lagerstroemia Indica	6-8' tall	35' x 25'w
Tree	1	JM	Japanese Maple	Acer Palmatum	15 gal	12-18' mature
Shrub	3	GDF	Gardenia	Gardenia Jasminoides	7 gal	3' wide & tall
Shrub	14	LCR	Longpetalum	Longpetalum Chinense Rubrum	7 gal	3-5' wide & tall
Shrub	11	LJW	Ligustrum	Ligustrum Japonicum	7 gal	3-5' wide & tall
Shrub	5	NFP	Nandina	Nandina Domestica	3 gal	24" wide & tall
Shrub	4	TOR	Tea Olive	Osmanthus Heterophyllus	7 gal	4-5' tall & wide

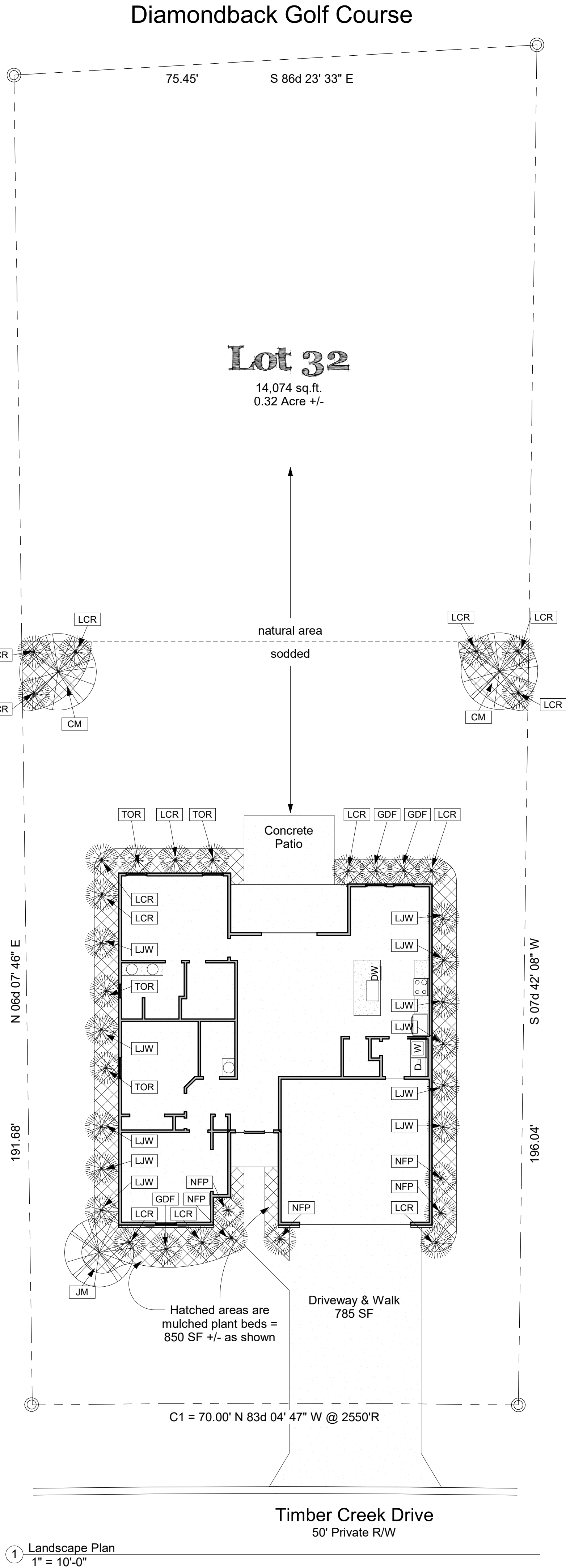
Grand total: 40 40

Landscape Notes:

- Owner and builder reserve the right to substitute plant varieties as needed due to availability, seasonality or similar issues. Substituted plants shall be similar in character and nature to the original.
- All existing trees are to be inspected and removed based upon a review of their health, remaining lifespan and potential risk to the house. Refer to survey for complete existing tree inventory.
- All plant beds shall be mulched with material as selected by the owner in accordance and with the approval of the ARB.
- All areas not built, paved or landscape beds shall be sodded or seeded with centipeded grass in the front and side yards. The rear yard will be sodded to approximately 15' beyond the rear patio with the remaining area to be an undisturbed natural area or to be seeded, sodded or otherwise landscaped at the homeowners' discretion & expense.
- All landscaped areas of the property, including all grass and plant bed areas shall be watered with an automated, multi-zone irrigation system. This system shall be professionally designed and installed in accordance with ARB guidelines. The control box is to be located based upon the owners' preference.
- All landscaping shall be maintained and upkept according to ARB and community standards.
- Landscape Lighting:** Pathway lights: Low-voltage or solar LED pathway lights shall be located along the front walk and driveway at the discretion of the homeowner.
Up-lighting of Trees: Each of the hardwood trees, palm trees and ornamental trees may be uplit in accordance with ARB guidelines at the discretion of the homeowner
- Plant bed borders, if any, are to be selected by the owner and shall comply with any and all ARB and community guidelines.

Irrigation:

The irrigation system will be designed and installed by a landscape professional who will provide their own irrigation plans and specifications.



1 Landscape Plan
1" = 10'-0"

HORONZY
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Landscape Plan