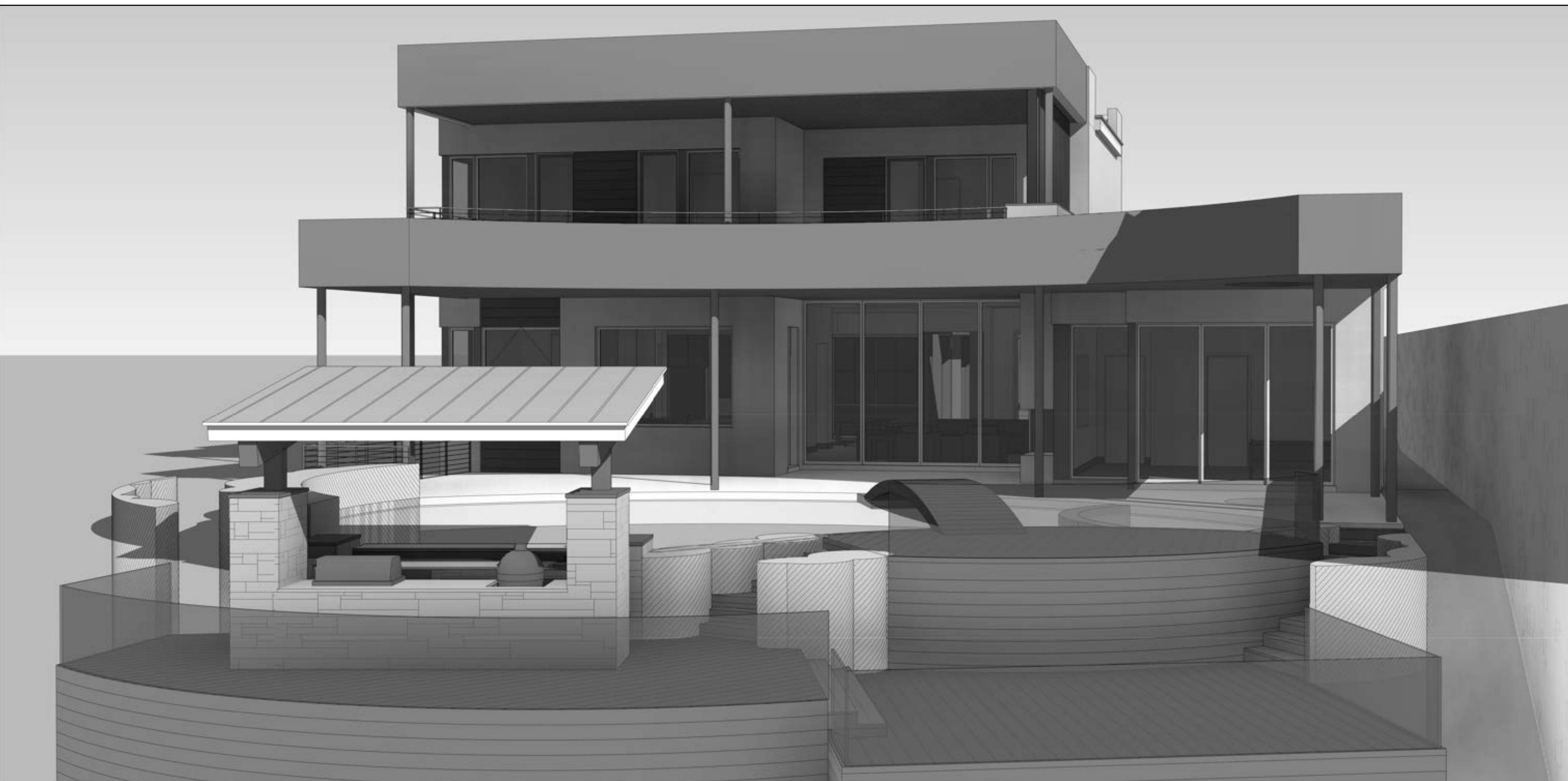




RENDERING: FRONT



RENDERING: REAR

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SHEET INDEX

SHEET	DESCRIPTION
1	SITE PLAN
1.1	IWUIC - CLASS B
2	MAIN FLOOR NOTES
3	MAIN FLOOR DIMENSIONS
4	UPPER FLOOR NOTES
5	UPPER FLOOR DIMENSIONS
6	LOWER FLOOR NOTES
7	LOWER FLOOR DIMENSIONS
8	GARAGE NOTES, DIMENSIONS, & ELECTRICAL
9	EXTERIOR ELEVATIONS
10	EXTERIOR ELEVATIONS
11	GARAGE ELEVATIONS & ROOF PLAN
12	ROOF PLAN
17	MAIN FLOOR ELECTRICAL
18	UPPER FLOOR ELECTRICAL
19	LOWER FLOOR ELECTRICAL

LOCATION MAP

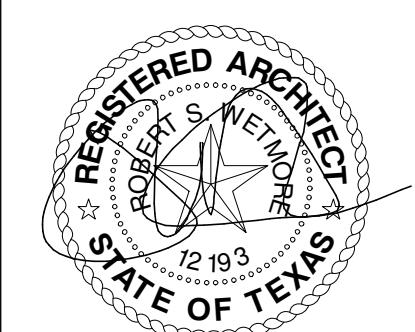


A CUSTOM RESIDENCE FOR
SENDERO HOMES

6809 OASIS PASS
AUSTIN, TEXAS 78732

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REVISION:



REGISTERED ARCHITECT
STATE OF TEXAS
12/19/32
03/09/2022

SENDERO SPEC
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET: CS

PROJECT NO.: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: XX
PROJECT MGR: SRK

GENERAL SITE NOTES

- BUILDER TO RESCULPTURE TOPO/FINISH GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.
- EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 18" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND THE SIDE PROPERTY LINES.
- UTILITY LINE LOCATIONS ARE APPROXIMATES. GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- NO EXISTING TREES TO BE REMOVED OR DISTURBED WITHOUT OWNER APPROVAL.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

AUTOMATIC SPRINKLER SYSTEM

A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE NFPA 13D OR THE 2021 IRC P2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE IRC P2904 ENDORSEMENT ON THEIR LICENSE. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

LEGAL DESCRIPTION

6809 OASIS PASS
LOT 10, COMANCHE PASS
SECTION 2
AUSTIN, TEXAS 78732
TRAVIS COUNTY

LOT INFORMATION

TOTAL LOT AREA: 22,199.33 SF ZONING: SF-2

MAXIMUM ALLOWED BUILDING COVERAGE @ 40% = 8,879.73 SF

MAXIMUM ALLOWED IMPERVIOUS COVERAGE @ 45% = 9,989.70 SF

CITY OF AUSTIN AREA CALCULATIONS

CoA AREA NAME	EXISTING	NEW	TOTAL
a) 1ST FLOOR CONDITIONED AREA	0.00 SF	3,254.85 SF	3,254.85 SF
b) 2ND FLOOR CONDITIONED AREA	0.00 SF	2,311.84 SF	2,311.84 SF
c) 3RD FLOOR CONDITIONED AREA	0.00 SF	0.00 SF	0.00 SF
d) BASEMENT	0.00 SF	2,115.96 SF	2,115.96 SF
e) COVERED PARKING	0.00 SF	1,722.88 SF	1,722.88 SF
f) COV'D PATIO, DECK, PORCH, AND/OR BALCONY	0.00 SF	2,012.52 SF	2,012.52 SF
g) OTHER COVERED OR ROOFED AREA	0.00 SF	146.06 SF	146.06 SF
h) UNCOVERED WOOD DECK	0.00 SF	1,246.68 SF	1,246.68 SF
TOTAL BUILDING AREA	0.00 SF	12,810.79 SF	12,810.79 SF
i) POOL	0.00 SF	0.00 SF	0.00 SF
jj) SPA	0.00 SF	0.00 SF	0.00 SF
k) REMODELED FLOOR AREA, EXCLUDING ADDITION / NEW CONSTRUCTION	0.00 SF	0.00 SF	0.00 SF

IMPERVIOUS COVER CALCULATIONS

AREA NAME	EXISTING	NEW	TOTAL
a) 1ST FLOOR CONDITIONED AREA	0.00 SF	3,254.85 SF	3,254.85 SF
e) COVERED PARKING	0.00 SF	1,722.88 SF	1,722.88 SF
f) COV'D PATIO, DECK, PORCH, AND/OR BALCONY	0.00 SF	1,395.23 SF	1,395.23 SF
g) OTHER COVERED OR ROOFED AREA	0.00 SF	146.06 SF	146.06 SF
TOTAL BUILDING COVERAGE	0.00 SF	6,519.02 SF	6,519.02 SF
(ONLY GROUND FLOOR AREAS INCLUDED FOR TOTAL BUILDING COVERAGE)			
A/C PADS	0.00 SF	28.44 SF	28.44 SF
DECK	0.00 SF	623.34 SF	623.34 SF
DRIVEWAY	0.00 SF	2,480.51 SF	2,480.51 SF
FLATWORK	0.00 SF	159.00 SF	159.00 SF
POOL EQUIPMENT	0.00 SF	40.00 SF	40.00 SF
STAIRS	0.00 SF	44.00 SF	44.00 SF
TOTAL IMPERVIOUS	0.00 SF	9,894.31 SF	9,894.31 SF
(UNCOV'D WOOD DECK COUNTED @ 50% FOR TOTAL IMPERVIOUS)			
TOTAL PROJECT BUILDING COVERAGE	6,519.02 SF	29.37%	
TOTAL PROJECT IMPERVIOUS COVERAGE	9,894.31 SF	44.57%	

TREE LIST

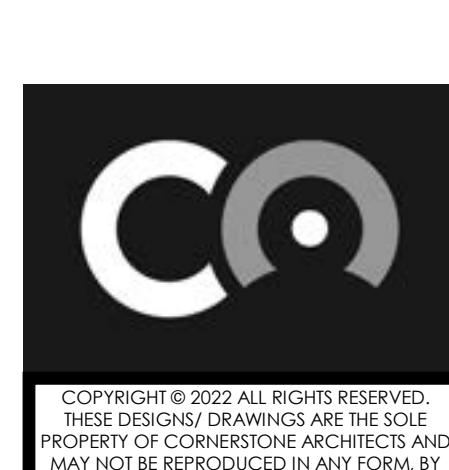
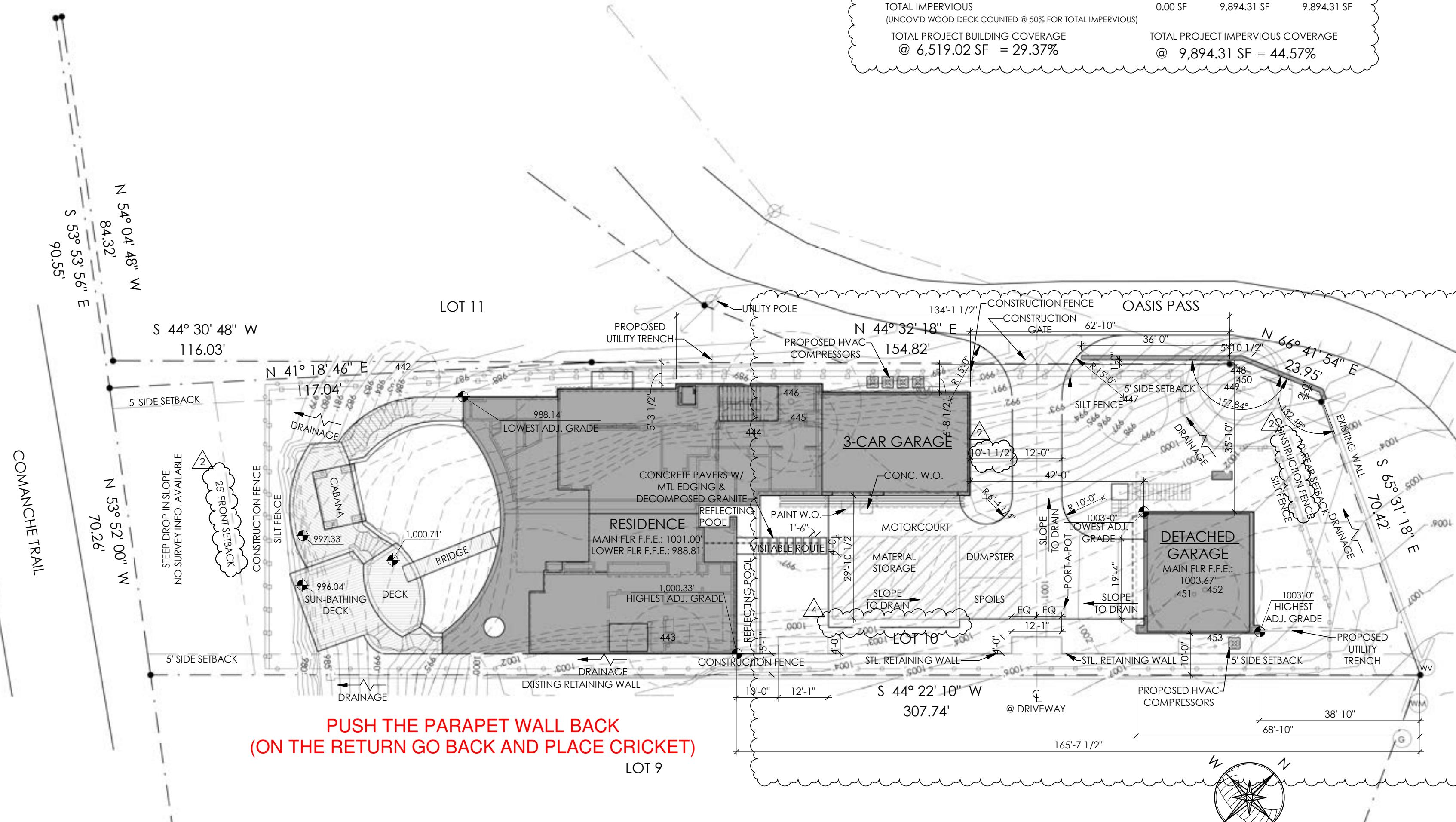
TAG NO.	SIZE	SPECIES
442	9'	HACKBERRY
443	10'	LIVE OAK
444	10'	HACKBERRY
445	9'	HACKBERRY
446	17'	HACKBERRY
447	9'	SPANISH OAK
448	10'	SPANISH OAK
449	13'	SPANISH OAK
450	9'	SPANISH OAK
451	11'	CEDAR ELM
452	14'	CEDAR ELM
453	9'	LIVE OAK

TREE LEGEND

- 1/4 CRITICAL ROOT ZONE (NO CUT/ZONE)
- 1/2 CRITICAL ROOT ZONE (NO CUT/FILL > 4')
- DRIP ZONE

SITE LEGEND

- CONSTRUCTION FENCE
- SILT FENCE
- BENCHMARK
- ELECTRIC TRANSFORMER
- ELECTRIC BOX
- DROP INLET
- SEWER
- CLEANOUT
- GAS METER
- GAS MARKER
- WATER METER
- TELEPHONE PEDESTAL
- C.A.T.V. PEDESTAL
- FIBER OPTICS
- TELECOMMUNICATIONS
- MANHOLE - WATER
- MANHOLE - TELEPHONE
- MANHOLE - ELECTRIC
- MANHOLE - SEWER
- UTILITY POLE
- FIRE HYDRANT



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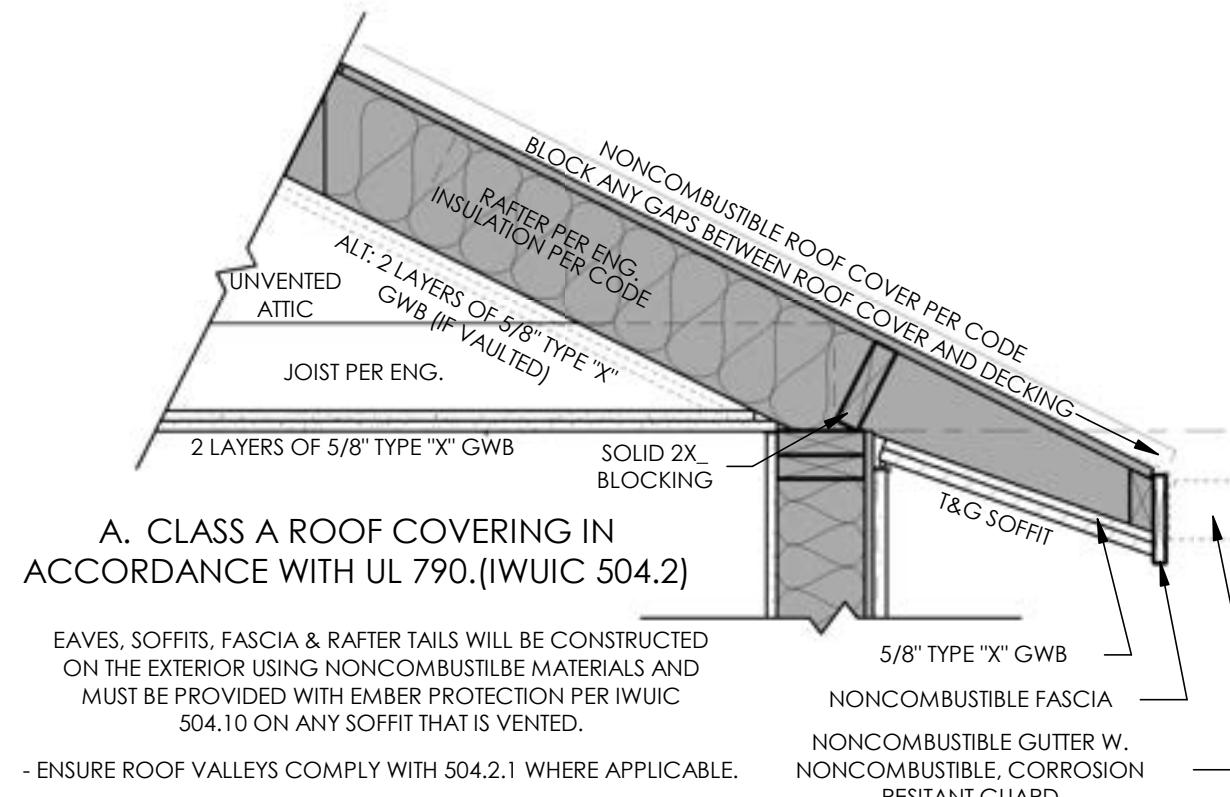
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6809 OASIS PASS
AUSTIN, TEXAS 78732
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1 of 19

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PROJECT MGR:
SRK
03/09/2022
XX
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GOVERNING CODE:
2021 INTERNATIONAL RESIDENTIAL CODE
CITY OF AUSTIN AMENDMENTS

CITY OF AUSTIN CLASS B CONSTRUCTION

THIS STRUCTURE IS LOCATED WITHIN 1.5 MILES FROM A 750 ACRE OR MORE AREA OF WILDLAND AND MUST COMPLY WITH THE FOLLOWING CONSTRUCTION REQUIREMENTS



504.4 GUTTERS AND DOWNSPOUTS

C. GUTTERS & DOWNSPOUTS WILL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL AND PROVIDE A NONCOMBUSTIBLE, CORROSION RESISTANT MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS

IN ACCORDANCE WITH IWUIC 504.4.

504.3.2 IGNITION-RESISTANT CONSTRUCTION (COA AMENDED)

A BUILDING OR STRUCTURE MORE THAN 50 FEET (15,240 MM) FROM A 40 ACRE (4.05 HA) OR GREATER CONTIGUOUS AREA THAT CONSISTS OF LIGHT, MEDIUM, OR HEAVY FUEL.

504.3.2.1 A COMBUSTIBLE EAVE, FASCIA, OR SOFFIT MUST BE ENCLOSED WITH SOLID MATERIALS THAT ARE AT LEAST $\frac{3}{4}$ -INCH (19 MM) THICK.

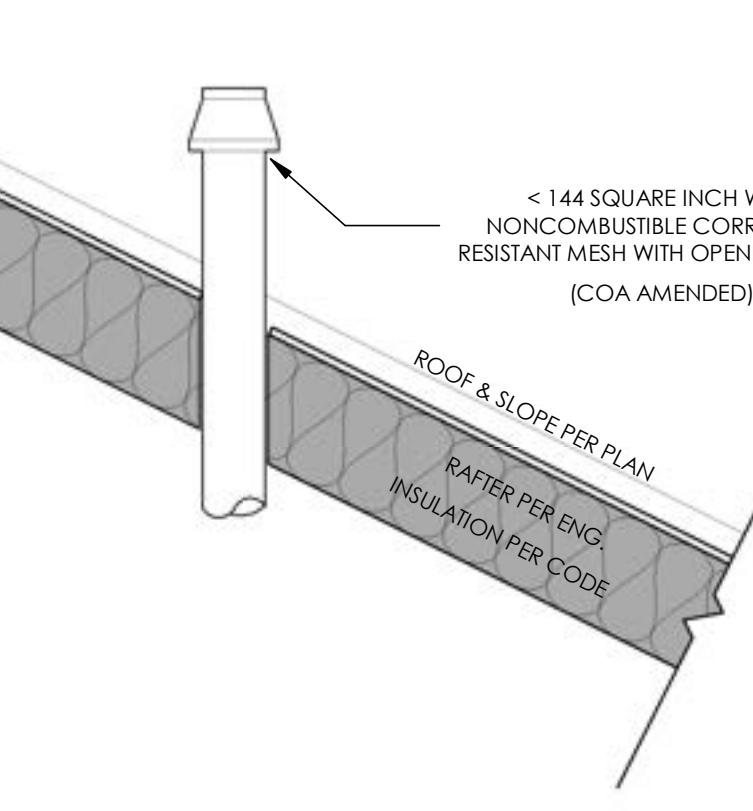
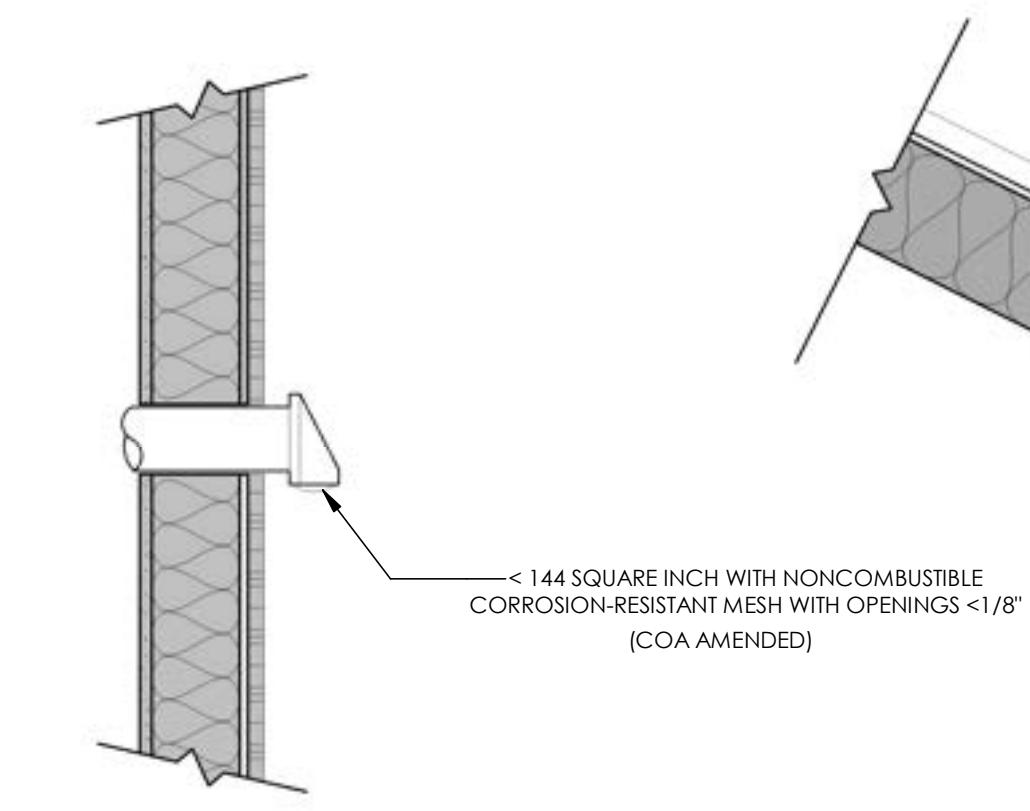
504.3.2.2 AN EXPOSED RAFTER TAIL MUST BE CONSTRUCTED OF HEAVY TIMBER MATERIALS.

504.10 VENTS (COA AMENDED)

B. EACH ATTIC VENTILATION OPENING, FOUNDATION OR UNDERFLOOR VENT, OR OTHER VENTILATION OPENING IN A VERTICAL EXTERIOR WALL AND EACH VENT THROUGH A ROOF MAY NOT EXCEED 144 SQUARE INCHES (0.0929 M²) THESE VENTS MUST BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTANT MESH WITH OPENINGS THAT ARE $\frac{1}{8}$ INCH (3.3 MM) OR LESS OR MUST BE DESIGNED AND APPROVED TO PREVENT FLAME OR EMBER PENETRATION INTO THE STRUCTURE.

EXCEPTIONS:

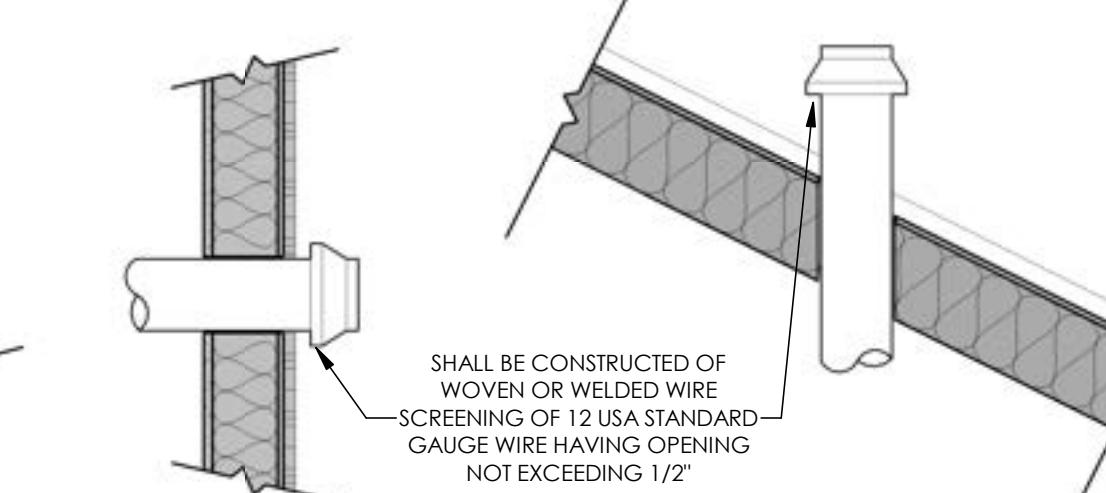
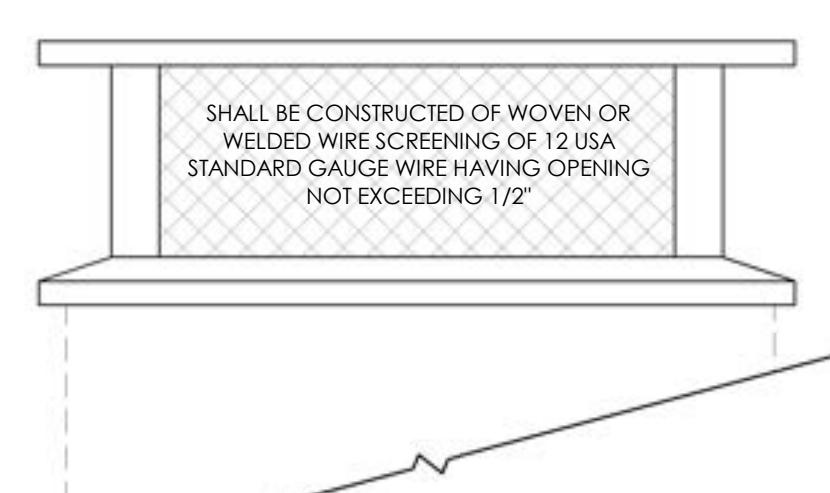
1. AN OPENING THAT MUST BE CLEAR BECAUSE OF ANOTHER LAND DEVELOPMENT CODE REQUIREMENT PROVIDED THAT ANY FLAME OR EMBER THAT PENETRATES THE OPENING CANNOT REACH COMBUSTIBLE MATERIALS OR SURFACES.
2. A DRYER VENT THAT COMPLIES WITH THE APPLICABLE LAND DEVELOPMENT CODE PROVISION.



605 SPARK ARRESTERS

G. CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED, SHALL BE PROVIDED WITH A SPARK ARRESTER. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 USA STANDARD GAGE WIRE (0.1046 INCH) (2.66 MM) HAVING OPENINGS NOT EXCEEDING 1/2 INCH (12.7 MM).

605.2 NET FREE AREA. THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY.



*FOR CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES ONLY

IRC REFERENCE

TABLE R302.1(1) EXTERIOR WALLS

EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated 1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from both sides	< 5 feet
	Not fire-resistance rated 0 hours	\geq 5 feet
Projections	Not allowed	N/A
	Fire-resistance rated 1 hour on the underside ^{a, b}	\geq 2 feet to < 5 feet
Openings in walls	Not fire-resistance rated 0 hours	\geq 5 feet
	Not allowed	N/A
	25% maximum of wall area 0 hours	< 3 feet
Penetrations	Unlimited	5 feet
	All	Comply with Section R302.4 None required

For SI: 1 foot = 304.8 mm
N/A = Not Applicable

a. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fireblocking is provided from the wall top plate to the underside of the roof sheathing.
b. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided that gable vent openings are not installed.

TABLE R302.1(2) EXTERIOR WALLS—DWELLINGS WITH FIRE SPRINKLERS

EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated 1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from the outside	0 feet
	Not fire-resistance rated 0 hours	\geq 3 feet ^a
Projections	Not allowed	N/A
	Fire-resistance rated 1 hour on the underside ^{b, c}	< 2 feet
Openings in walls	Not fire-resistance rated 0 hours	\geq 3 feet
	Not allowed	N/A
Penetrations	Unlimited	3 feet ^a
	All	Comply with Section R302.4 None required

For SI: 1 foot = 304.8 mm

a. For residential subdivisions where all dwellings are equipped throughout with an automatic sprinkler system installed in accordance with Section P2904, the fire separation distance for nonresidential walls and rated projections shall be permitted to be reduced to 0 feet, and unlisted unprotected openings and penetrations shall be permitted, where the adjoining lot provides an open setback yard that is 6 feet or more in width on the opposite side of the property line.
b. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fireblocking is provided from the wall top plate to the underside of the roof sheathing.
c. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided that gable vent openings are not installed.

TABLE R302.6 DWELLING-GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than $\frac{1}{2}$ -inch gypsum board or equivalent applied to the garage side
From habitable rooms above the garage	Not less than $\frac{5}{8}$ -inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than $\frac{1}{2}$ -inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than $\frac{1}{2}$ -inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm

SECTION R302 FIRE-RESISTANT CONSTRUCTION

R302.1 Exterior walls.

Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1), or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply with Table R302.1(2).

Exceptions:

1. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the fire separation distance.
2. Walls of dwellings and accessory structures located on the same lot.
3. Detached tool sheds and storage sheds, playhouses and similar structures exempted from permits are not required to provide wall protection based on location on the lot. Projections beyond the exterior wall shall not extend over the lot line.
4. Detached garages accessory to a dwelling located within 2 feet (610 mm) of a lot line are permitted to have roof eave projections not exceeding 4 inches (102 mm).
5. Foundation vents installed in compliance with this code are permitted.



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AUSTIN, TEXAS 78732

SHEET: A1.1

1.1 of 19

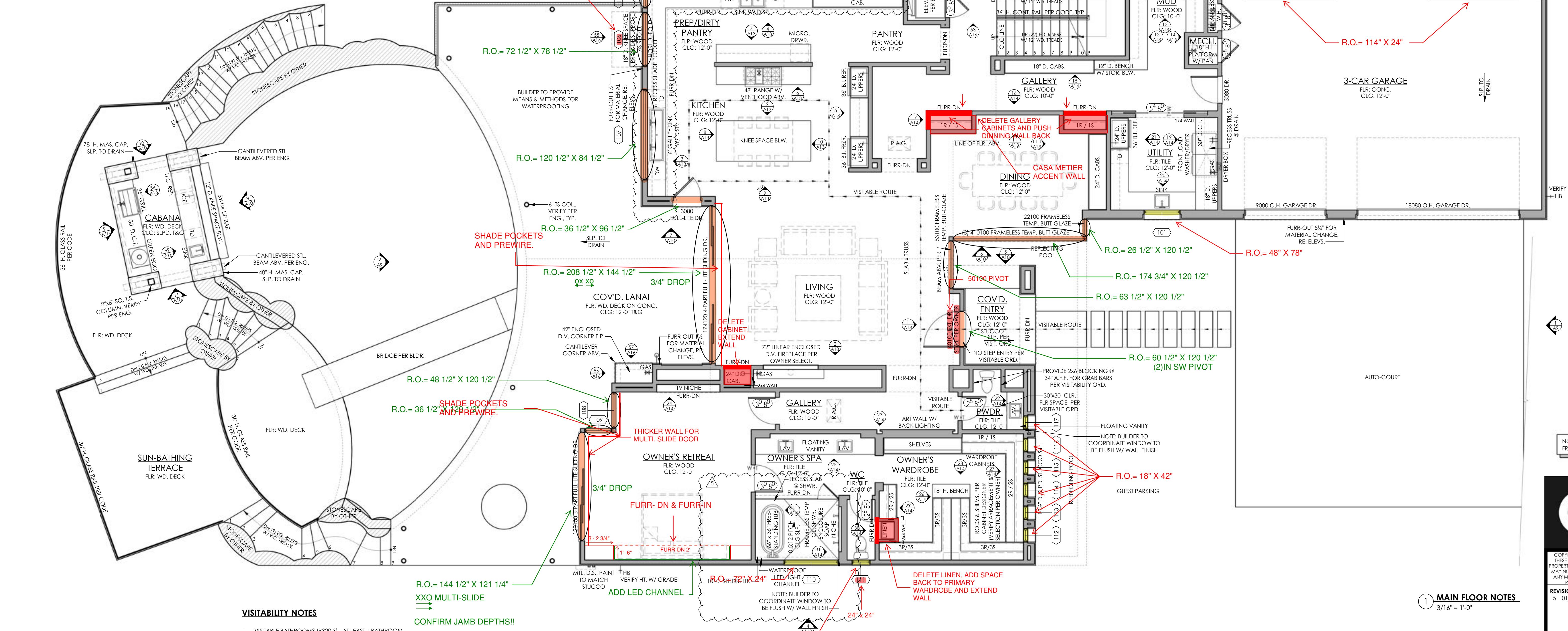
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CONTRACTOR SHALL ENSURE COMPLIANCE WITH LOCAL JURISDICTION REQUIREMENTS AND ADOPTED CODES, REGULATIONS AND STANDARDS.

GENERAL PROJECT NOTES

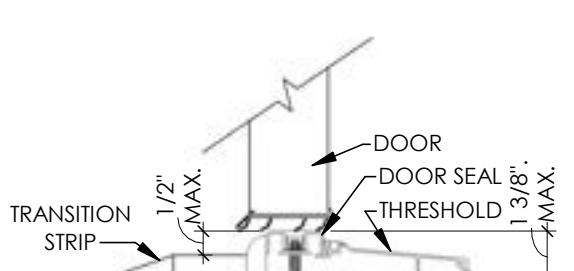
- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET APPLICABLE CODES, ORDINANCES, CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512)458-1363.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE ARCHITECT IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
- PORTIONS OF THIS WORK MAY NOT HAVE BEEN DRAWN BY A REGISTERED ARCHITECT.

- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THE PROJECT IS EXECUTED OR NOT, THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS ARCHITECT.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- WHEN THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS, MATERIALS OR SYSTEMS, CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS, MATERIALS AND SYSTEMS SELECTED WHERE INSTALLED.
- ALL COMPONENTS, MATERIALS, SYSTEMS AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURERS' RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. IF CONFLICTS ARISE BETWEEN ARCHITECTURAL PLANS OR SPECIFICATIONS AND MANUFACTURER'S SPECIFICATIONS, CONTRACTOR IS TO CONTACT ARCHITECT PRIOR TO PURCHASE AND OR INSTALLATION OF MATERIALS FOR DIRECTION.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.



VISITABILITY NOTES

- VISITABLE BATHROOMS (R320.3) - AT LEAST 1 BATHROOM GROUP MUST CONTAIN THE FOLLOWING:
 - MINIMUM NET CLEAR OPENING OF 30"
 - 30"X30" CLEAR FLOOR AREA IN BATHROOM
 - LATERAL 2x6 BLOCKING, CENTERLINE 34" FROM FINISHED FLOOR, EXCEPT FOR THE PORTION BEHIND THE LAVATORY
- VISITABLE LIGHT SWITCHES, RECEPTACLES AND ENVIRONMENTAL CONTROLS (R320.4) - THE FIRST FLOOR OF A DWELLING MUST CONTAIN THE FOLLOWING:
 - ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL NOT BE INSTALLED GREATER THAN 48" ABOVE THE FINISHED FLOOR
 - ALL OUTLETS AND RECEPTACLES SHALL BE INSTALLED NO LESS THAN 15" ABOVE FLOOR
- VISITABLE BATHROOM ROUTE (R320.5) - ALL BATHROOMS DESIGNATED FOR VISITABILITY ON THE FIRST FLOOR WILL BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR PATHWAY OF 32" BEGINNING AT THE VISIBLE ENTRANCE AND CONTINUING THRU THE LIVING ROOM, DINING ROOM AND KITCHEN.
- VISITABLE DWELLING ENTRANCE (R320.6) - A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE "NO-STEP ENTRANCE" AND THE DOOR SHALL HAVE A NET CLEAR OPENING OF 32"



THRESHOLD DETAIL:
THIS DETAIL TO BE USED IF FOUNDATION DESIGN CALLS FOR MORE THAN 1 1/2" DROP AT VISIBLE ENTRANCE. RE: CODE INTERPRETATION C12013-002 FOR ADDITIONAL INFORMATION.

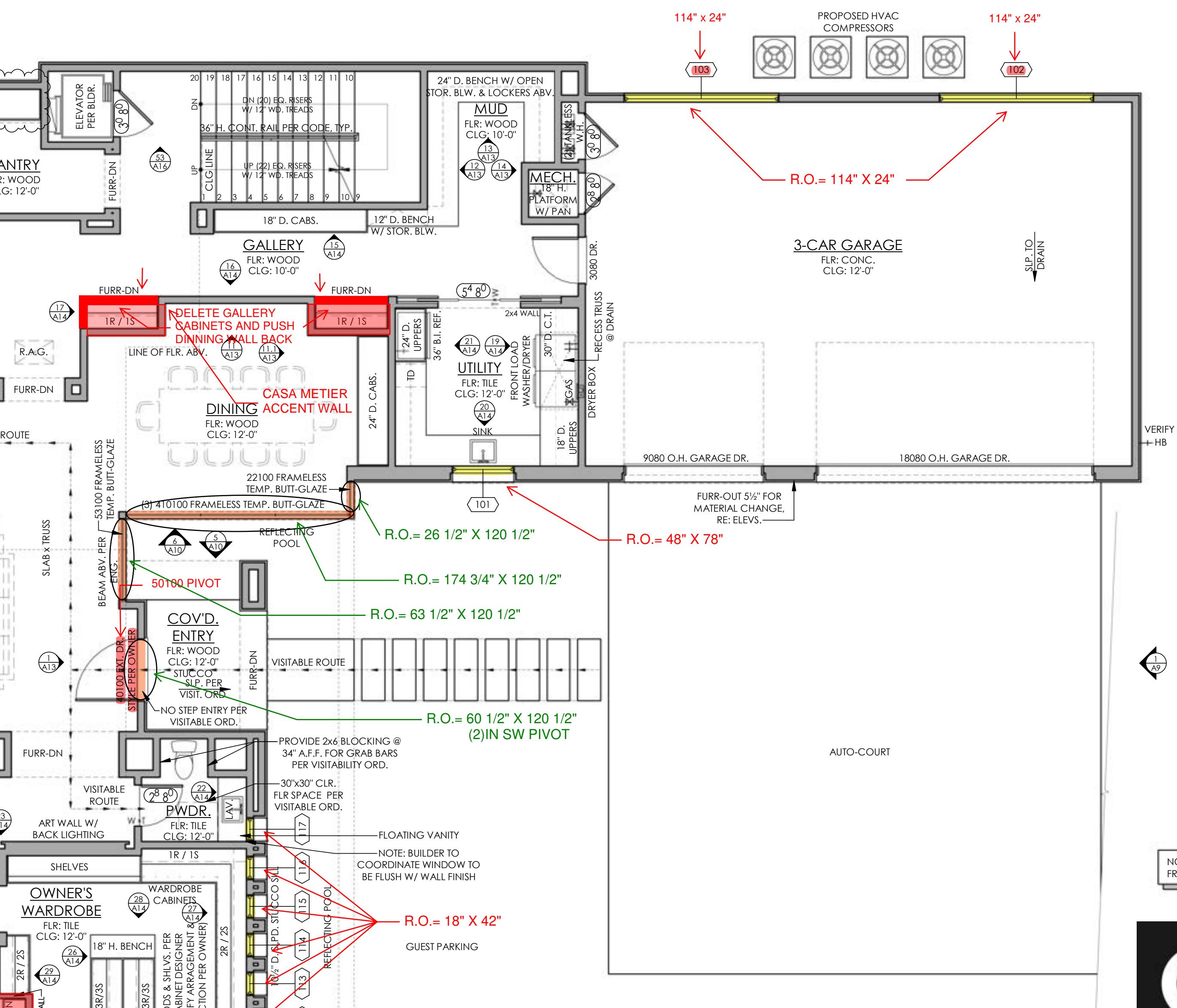
GENERAL PLAN NOTES

- THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE.
- ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- WINDOW MANUFACTURER & BUILDER TO VERIFY EGREGIOUS WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- ALL WINDOWS WITHIN 6' OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- ALL OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED WITH SOLID CORE WOOD DOORS 1 3/8" MIN THICKNESS, AND EQUIPPED WITH A SELF CLOSING DEVICE.
- ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUB/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
- IF PLATE HEIGHT IS 9'-0" OR HIGHER, ALL DOORS AND CASED OPENINGS TO HVAC UNITS TO BE 9'-0" HIGH. IF PLATE HEIGHT IS LESS THAN 9'-0", ALL DOORS AND CASED OPENINGS TO BE 6'-8" HT, UNLESS NOTED OTHERWISE. EXCEPTION: IF A 7'-0" HT, DOOR IS USED ADJUST WINDOWS TO 7'-0" HEADER HT.
- PROVIDE WEATHERSEAL AND DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- THE DROP FROM INTEGRITY FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- ALL BEARING WALLS OVER 9'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 9'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
- PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
- PROVIDE ELECTRIC FOR POOL & SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL & SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
- THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.

- CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- LOWEST 2 SHELVES TO BE 12' D. WITH HEIGHT SPACING OF 12" CLEAR.
- REMAINING SHELVES TO BE 12' D. WITH HEIGHT SPACING OF 12" CLEAR.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL FIREPLACES TO HAVE 20" DEEP HEARTH & 12" NON-COMBUSTIBLE SURROUND.

LEGEND

Gas Bibb Gas Key Shower Head Hose Bibb



MAIN FLOOR NOTES

3/16" = 1'-0"



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AUSTIN, TEXAS 78732

SHEET: A2

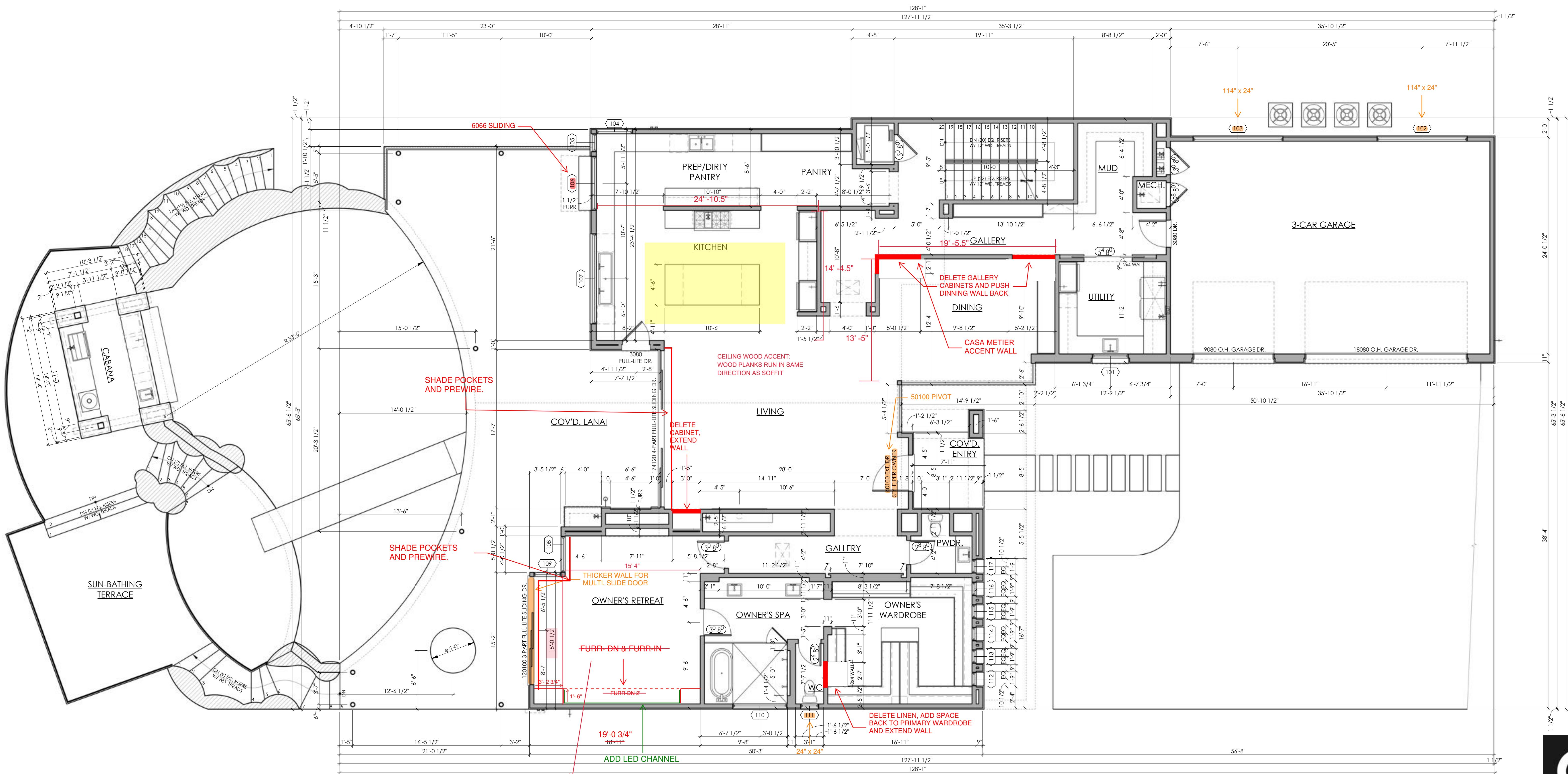
2 of 21

PROJECT NO: DRAWN BY: DATE: CHECKED BY: PROJECT MGR: 21101 SRK 03/2022 PC SRK

MAIN FLOOR WINDOW SCHEDULE							
WIDTH	HEIGHT	STYLE	DIVIDED LITE	H.H.	TEMPERED	EGRESS	COMMENTS
101 4'-0"	6'-6"	FG		10'-0"			
102 4'-0"	2'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
103 4'-0"	2'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
104 4'-0"	7'-0"	FG		10'-0"			HORIZONTAL BI-FOLD
105 2'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
106 6'-0"	3'-6"	HFB		10'-0"			
107 10'-0"	7'-0"	FG		10'-0"			
108 4'-0"	10'-0"	FG		10'-0"	TEMP		
109 3'-0"	10'-0"	FG		10'-0"			
110 6'-0"	2'-0"	FG		10'-0"			MTL.
111 2'-0"	6'-0"	FG		10'-0"			
112 1'-6"	3'-6"	FG		11'-6"			
113 1'-6"	3'-6"	FG		11'-6"			
114 1'-6"	3'-6"	FG		11'-6"			
115 1'-6"	3'-6"	FG		11'-6"			
116 1'-6"	3'-6"	FG		11'-6"			
117 1'-6"	3'-6"	FG		11'-6"			

* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

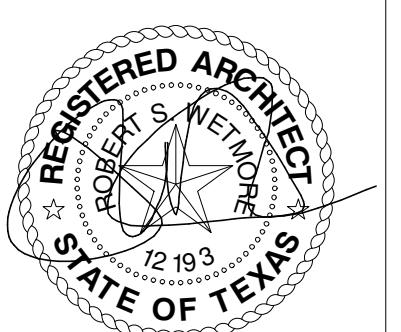
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1 MAIN FLOOR DIMENSIONS
3/16" = 1'-0"

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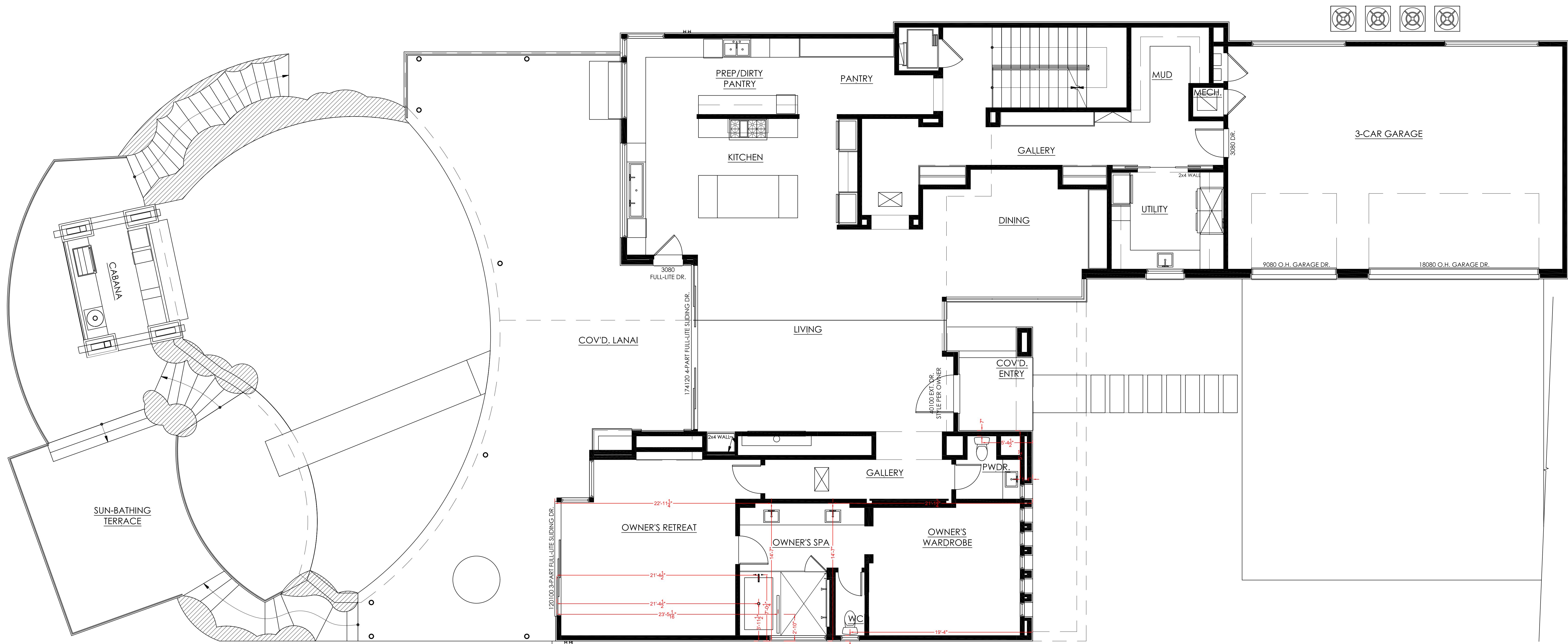


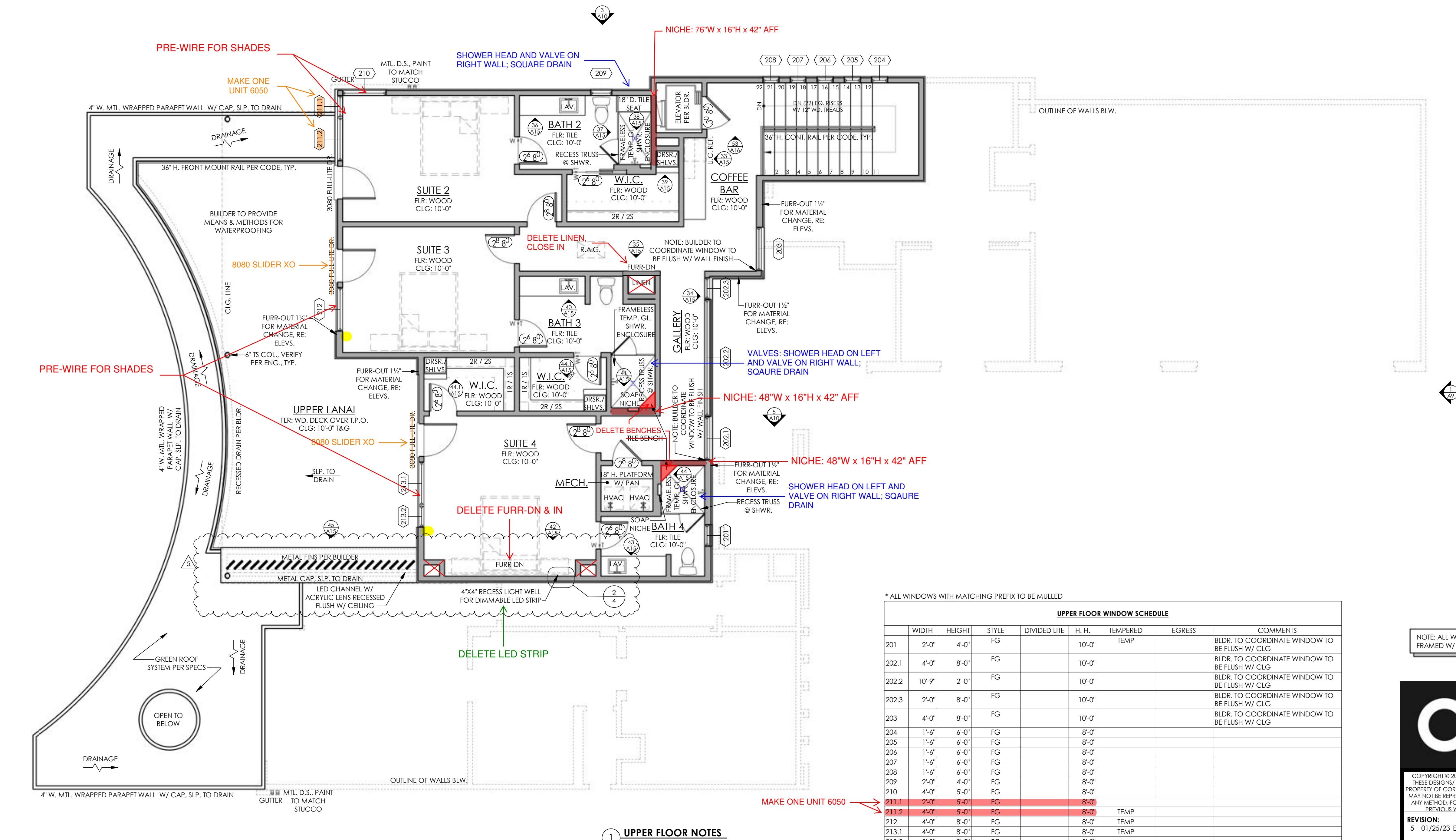
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SHEET:

A3
3 of 19

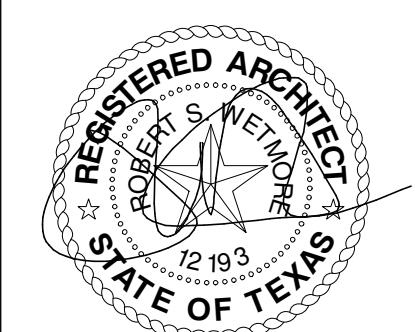
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SRK
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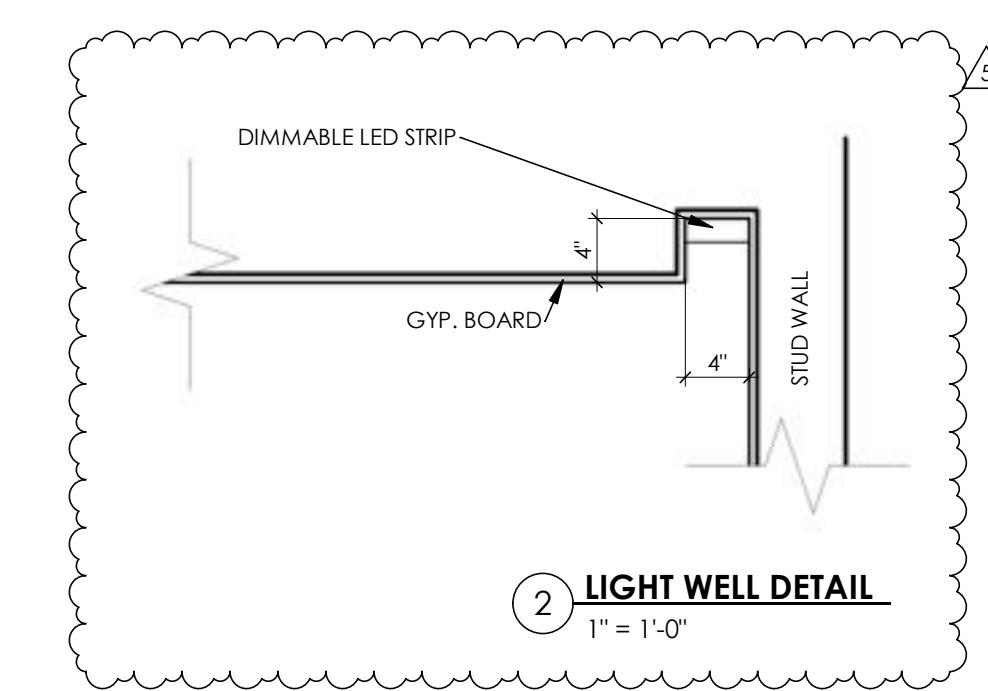


* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

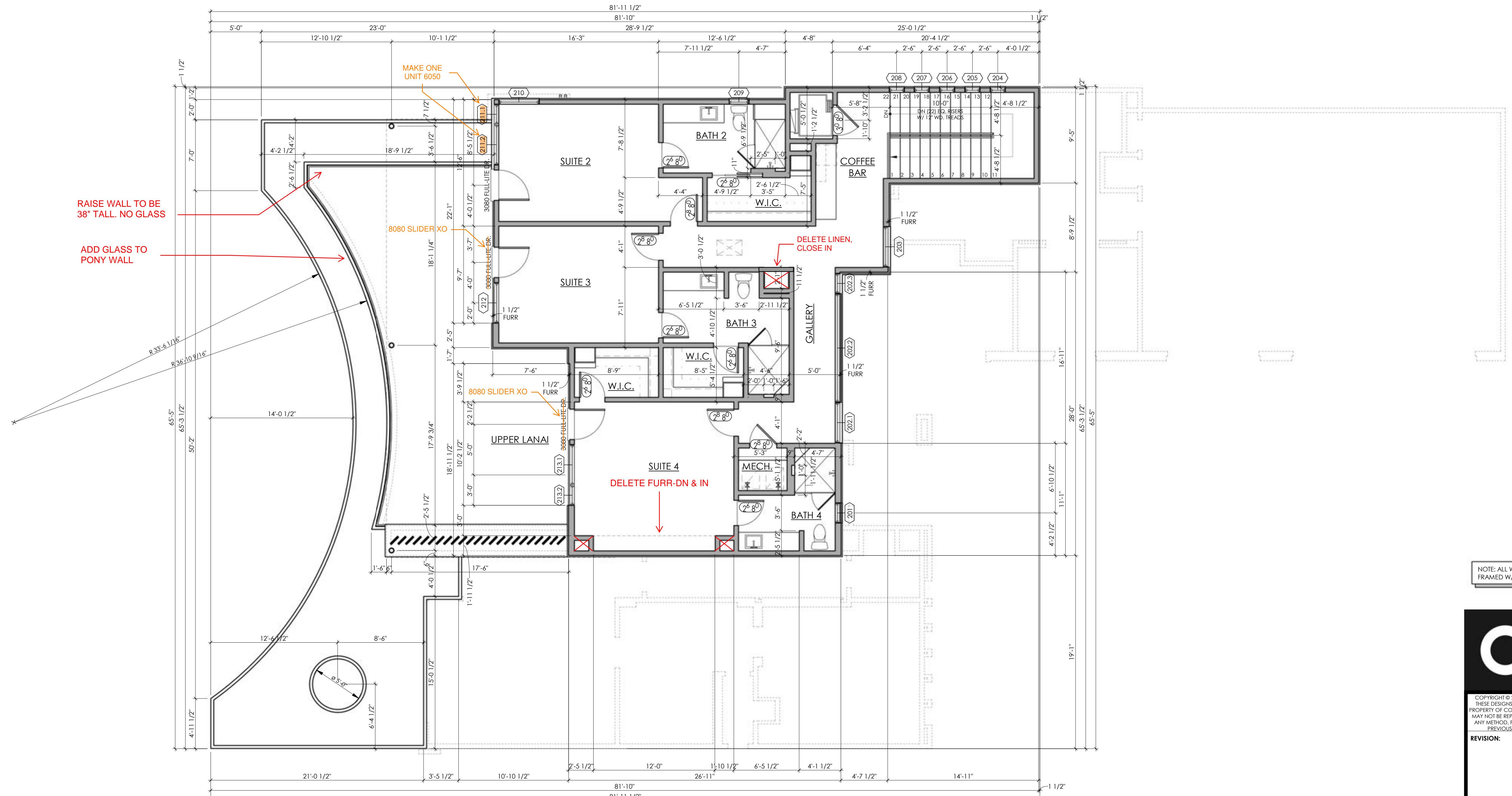
UPPER FLOOR WINDOW SCHEDULE								
	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS	COMMENTS
201	2'-0"	4'-0"	FG		10'-0"	TEMP		BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
202.1	4'-0"	8'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
202.2	10'-9"	2'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
202.3	2'-0"	8'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
203	4'-0"	8'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
204	1'-6"	6'-0"	FG		8'-0"			
205	1'-6"	6'-0"	FG		8'-0"			
206	1'-6"	6'-0"	FG		8'-0"			
207	1'-6"	6'-0"	FG		8'-0"			
208	1'-6"	6'-0"	FG		8'-0"			
209	2'-0"	4'-0"	FG		8'-0"			
210	4'-0"	5'-0"	FG		8'-0"			
211.1	2'-0"	5'-0"	FG		8'-0"			
211.2	4'-0"	5'-0"	FG		8'-0"	TEMP		
212	4'-0"	8'-0"	FG		8'-0"	TEMP		
213.1	4'-0"	8'-0"	FG		8'-0"	TEMP		
213.2	2'-0"	8'-0"	FG		8'-0"			



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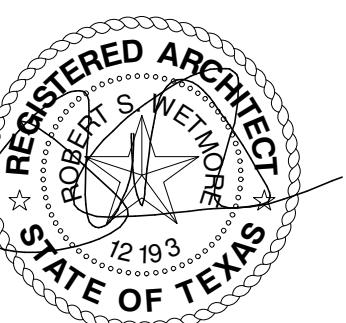
2) LIGHT WELL DETAIL



Co

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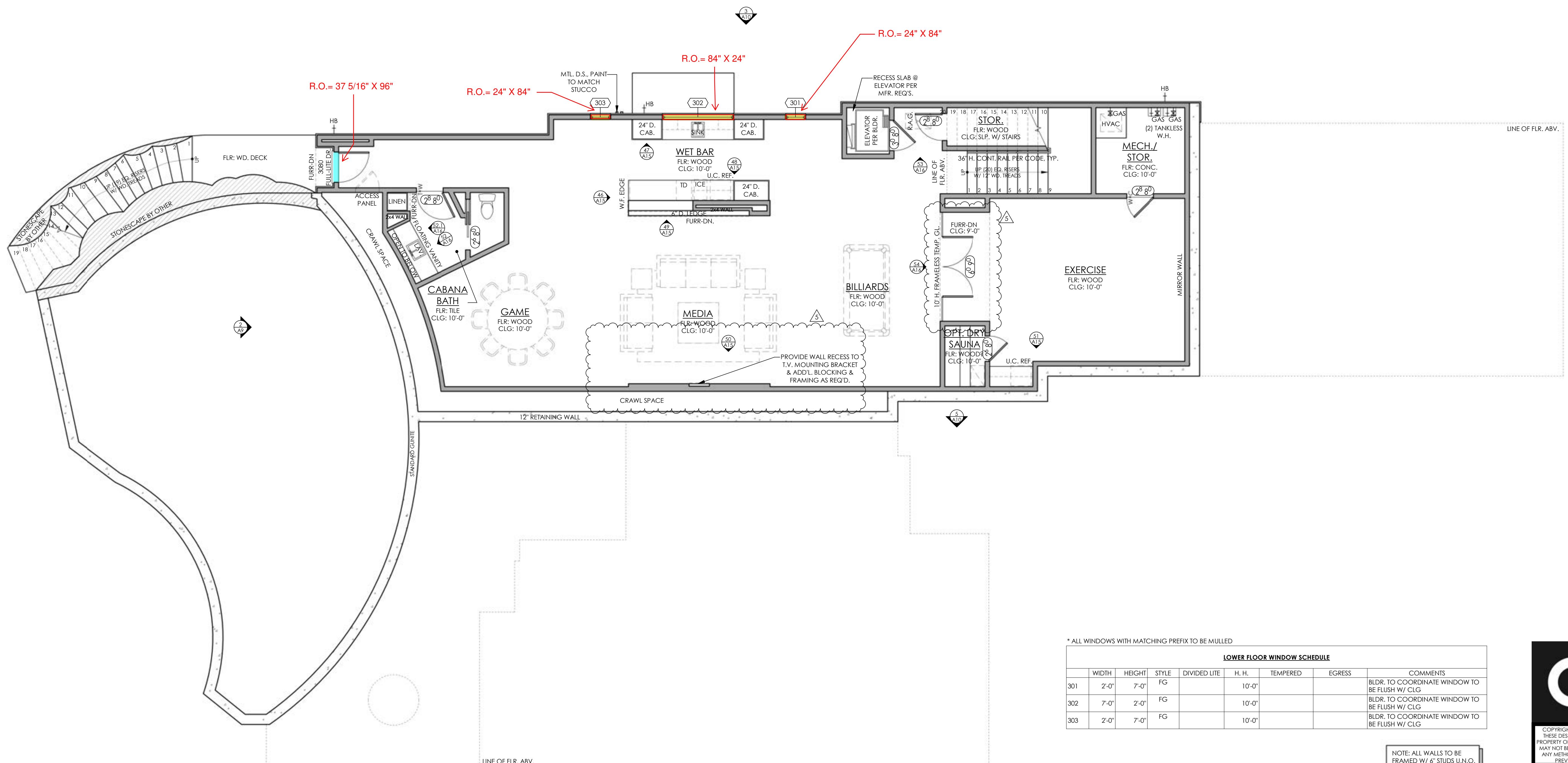
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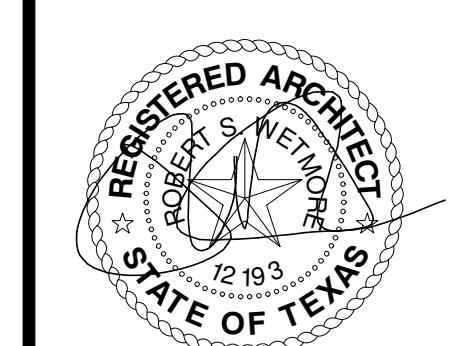
PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: XX
PROJECT MGR: SRK

1 **UPPER FLOOR DIMENSIONS**
3/16" = 1'-0"

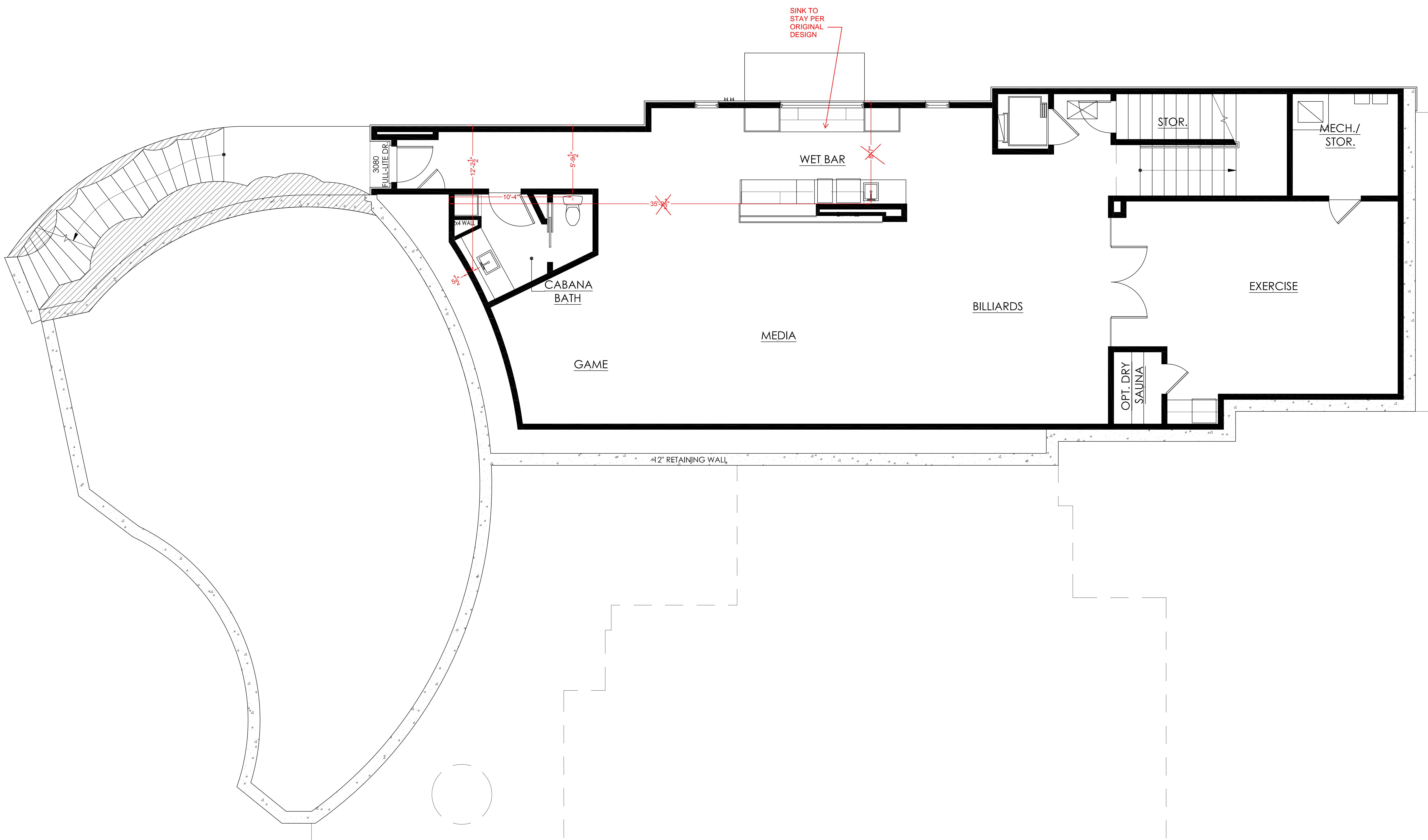


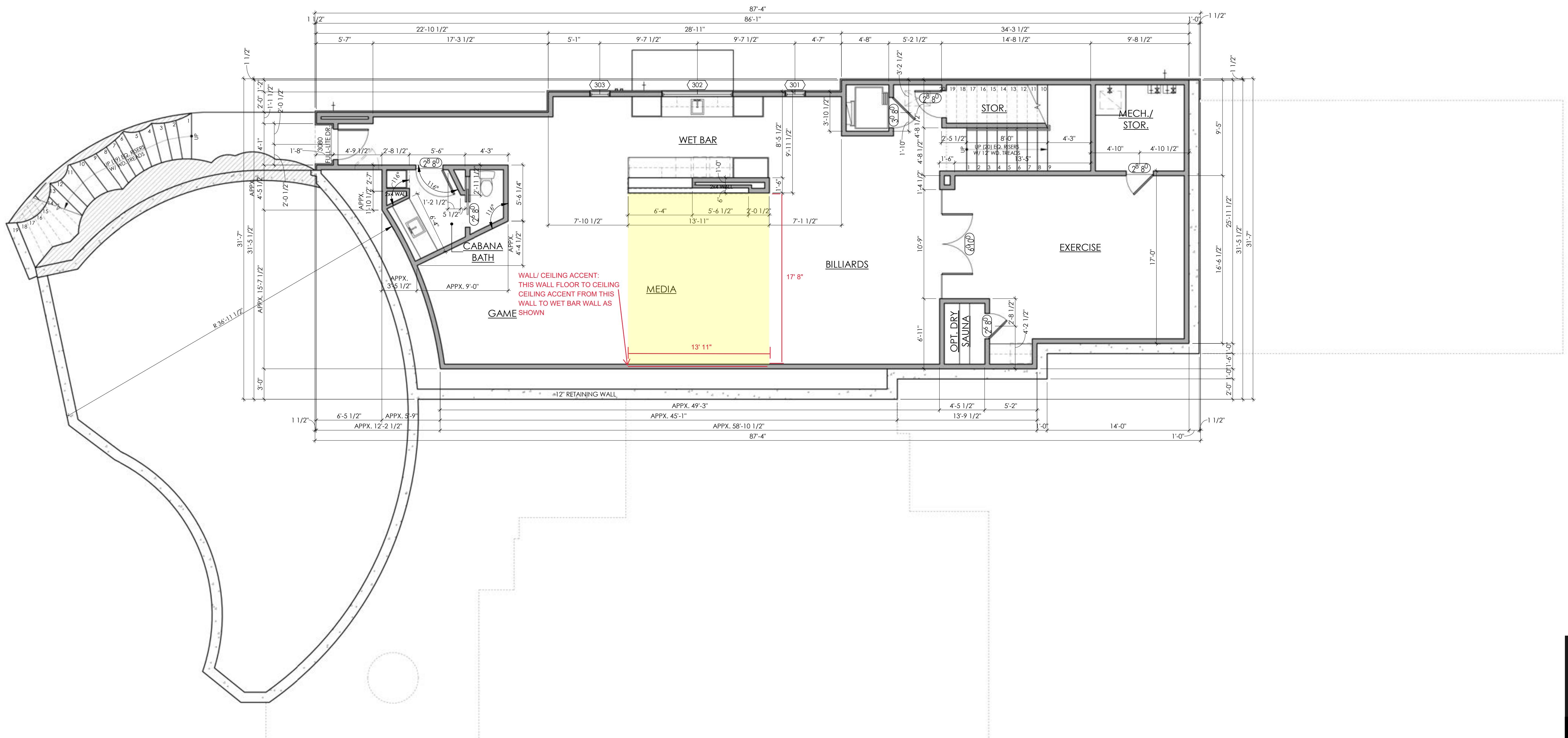
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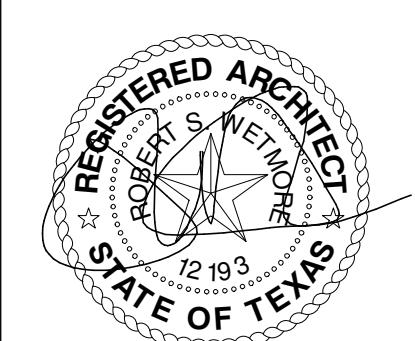


21101
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 SHEET: A6
 6 of 21
 PROJECT NO:
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1 LOWER FLOOR DIMENSIONS
3/16" = 1'-0"



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SHEET: A7
7 of 19

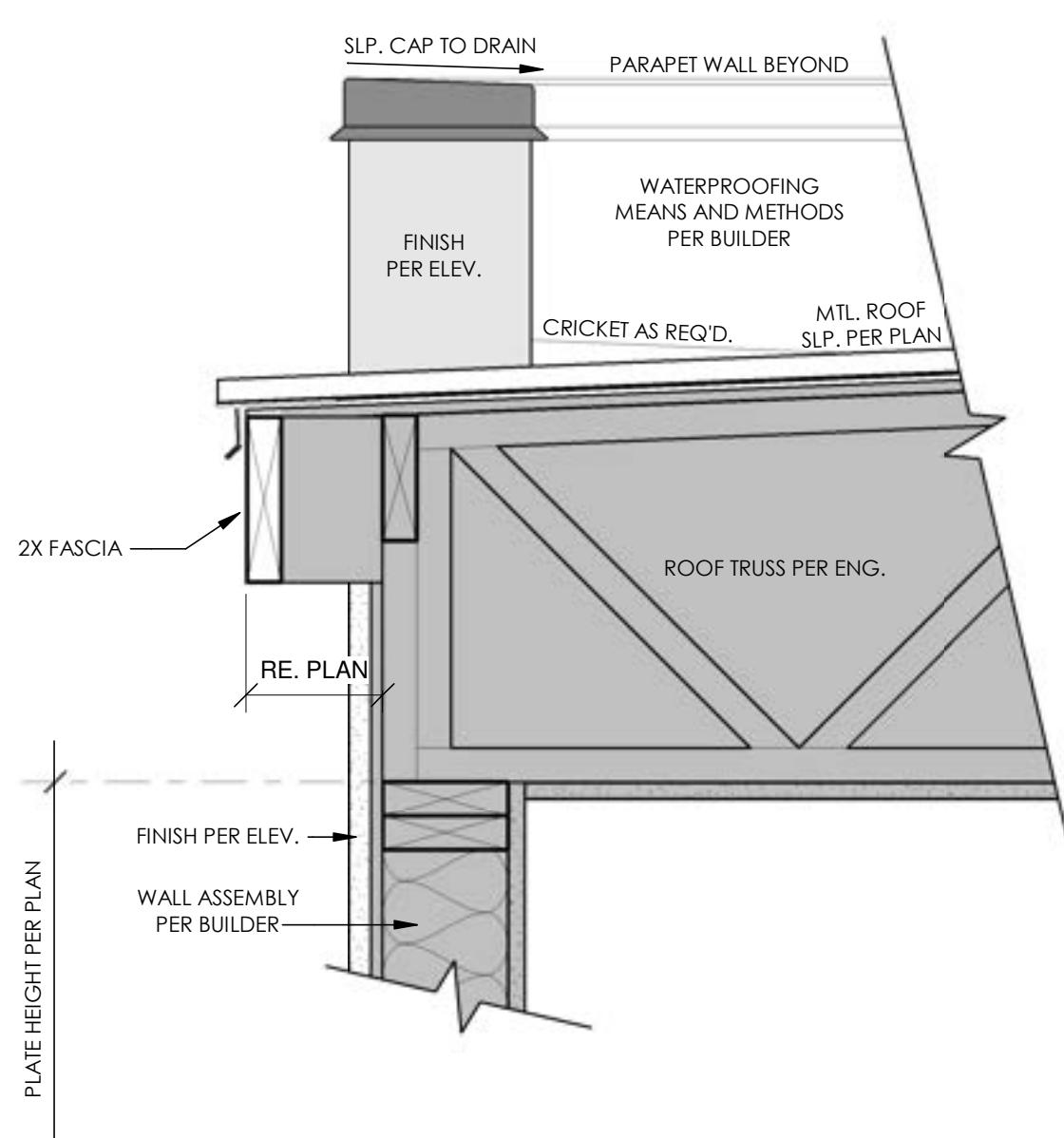
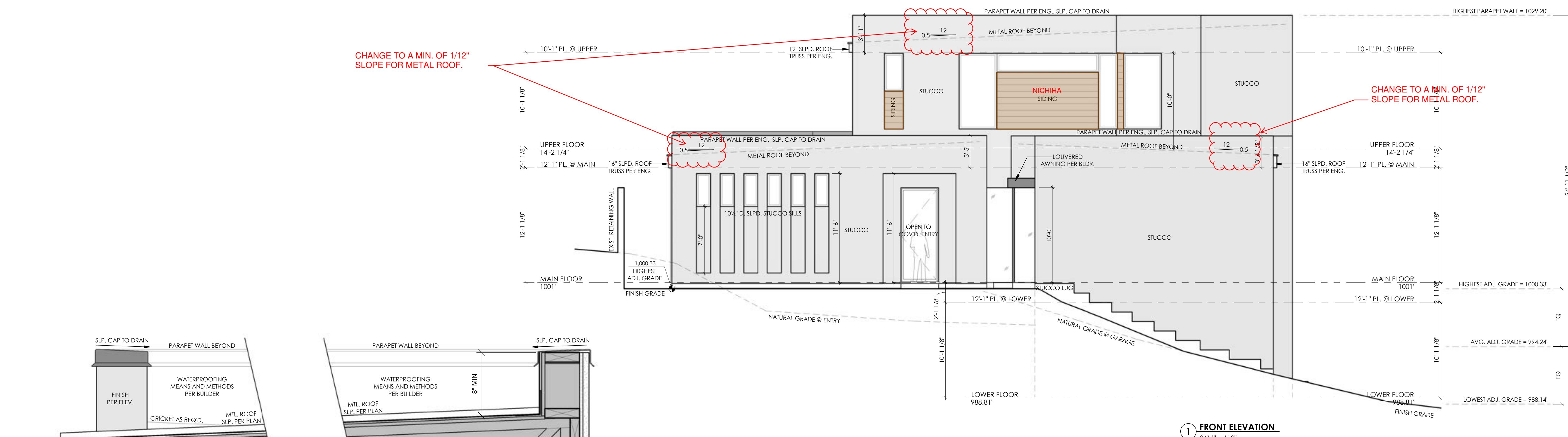
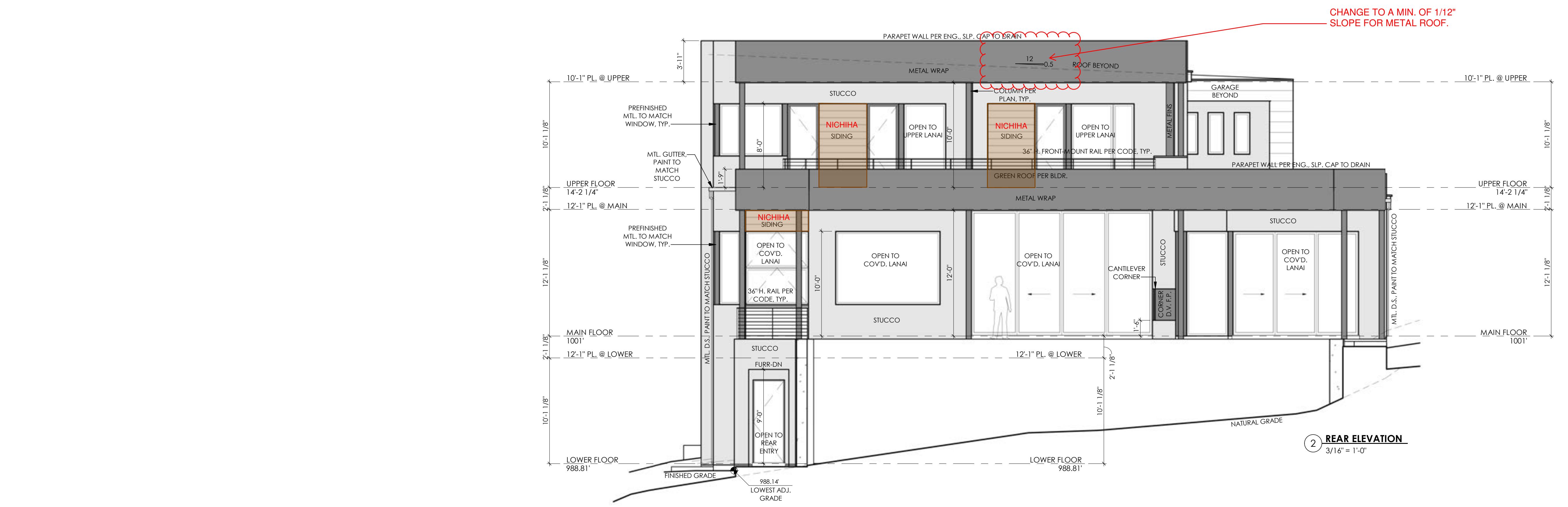
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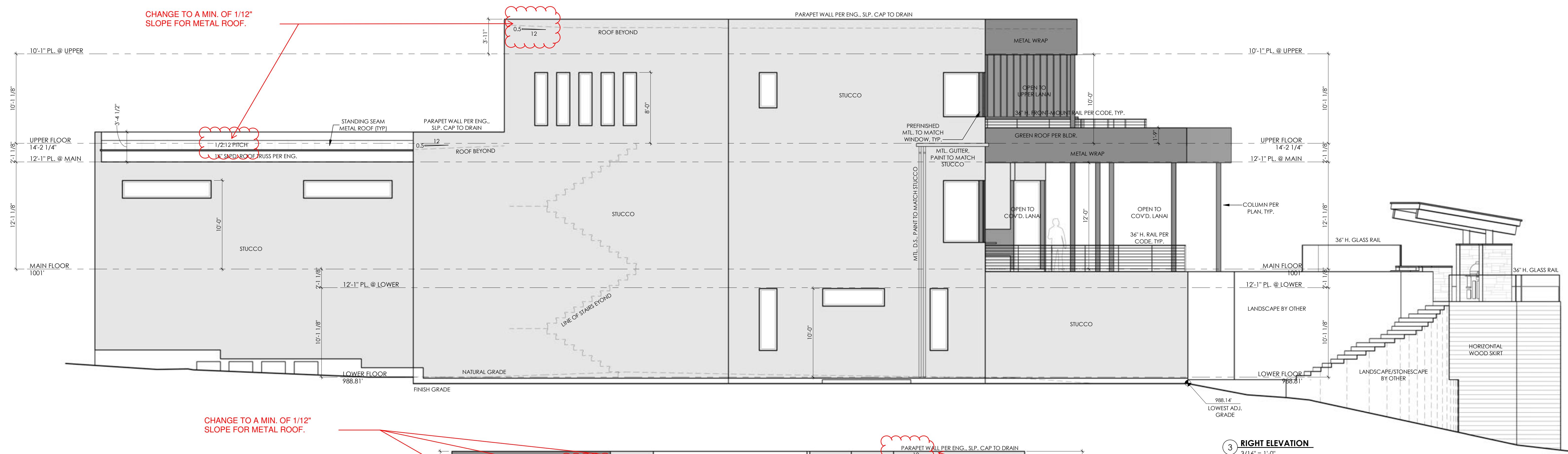


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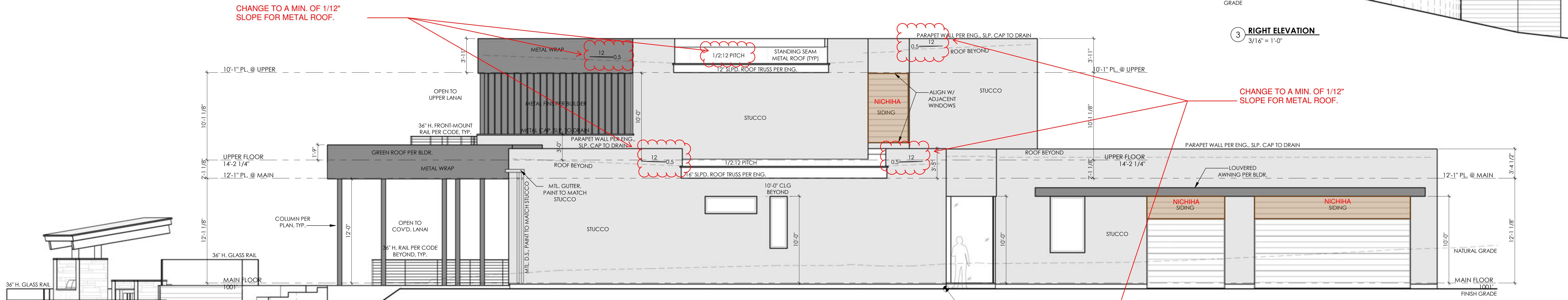
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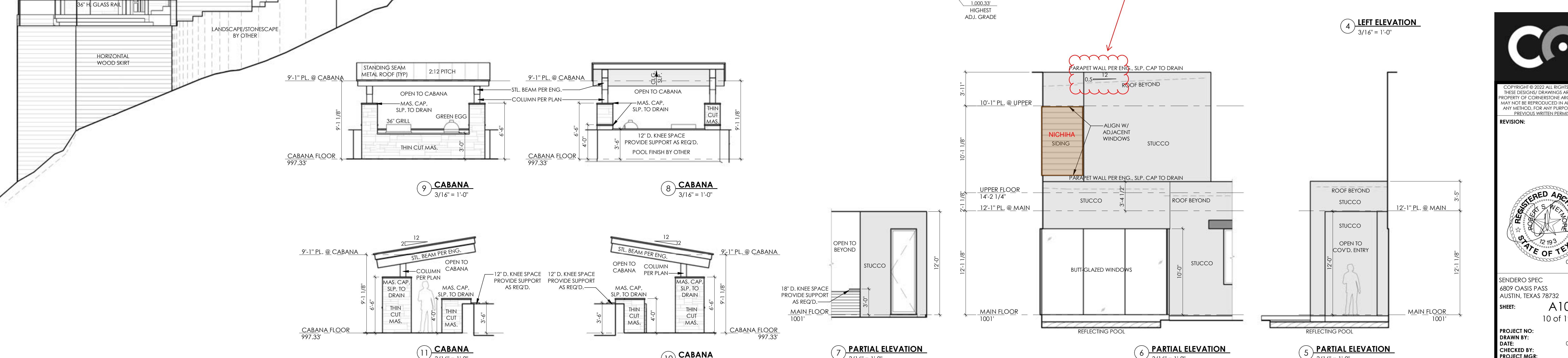
CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.



CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.



3 RIGHT ELEVATION
3/16" = 1'-0"



4 LEFT ELEVATION
3/16" = 1'-0"



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SHEET: A10

10 of 19

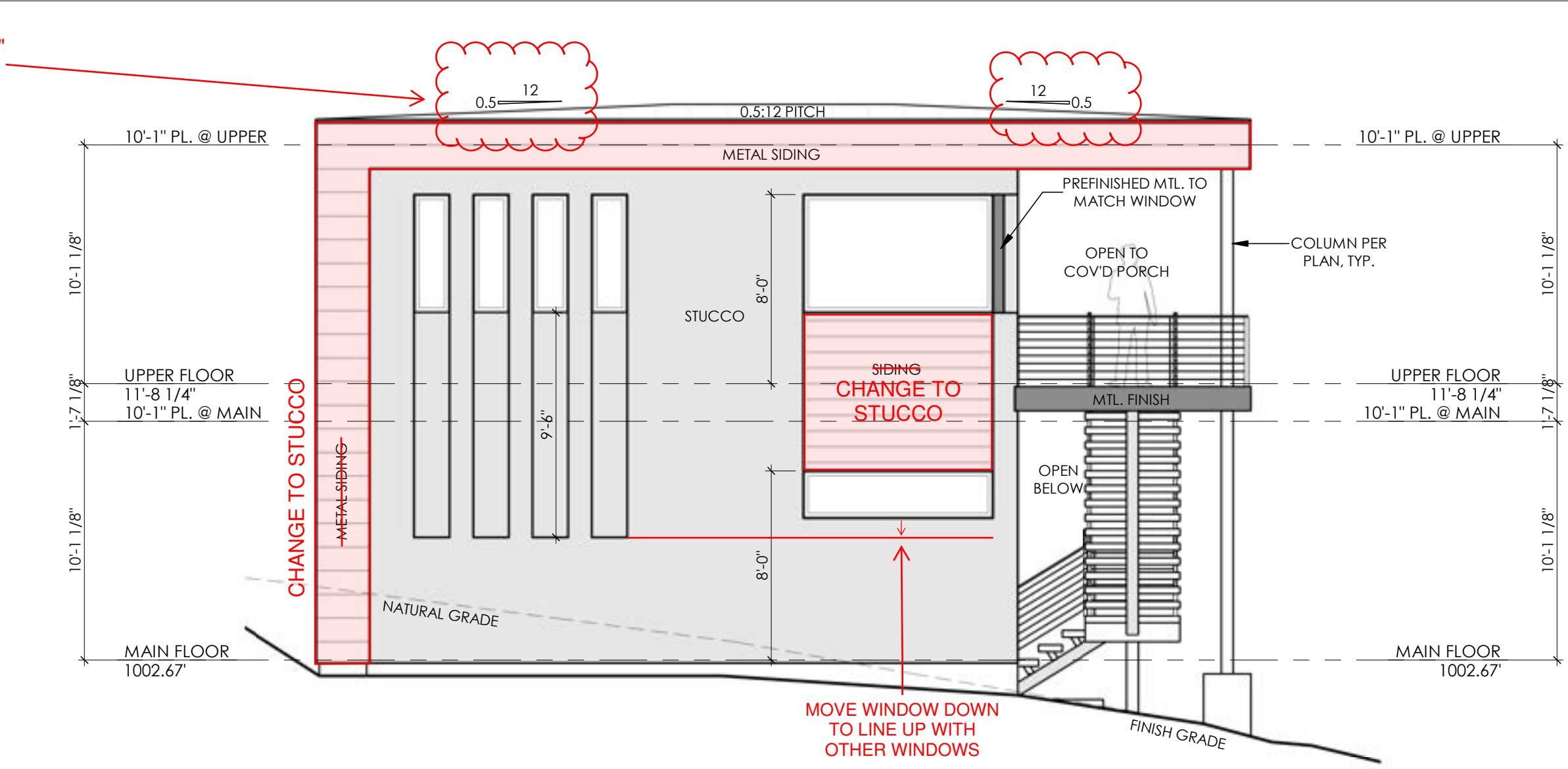
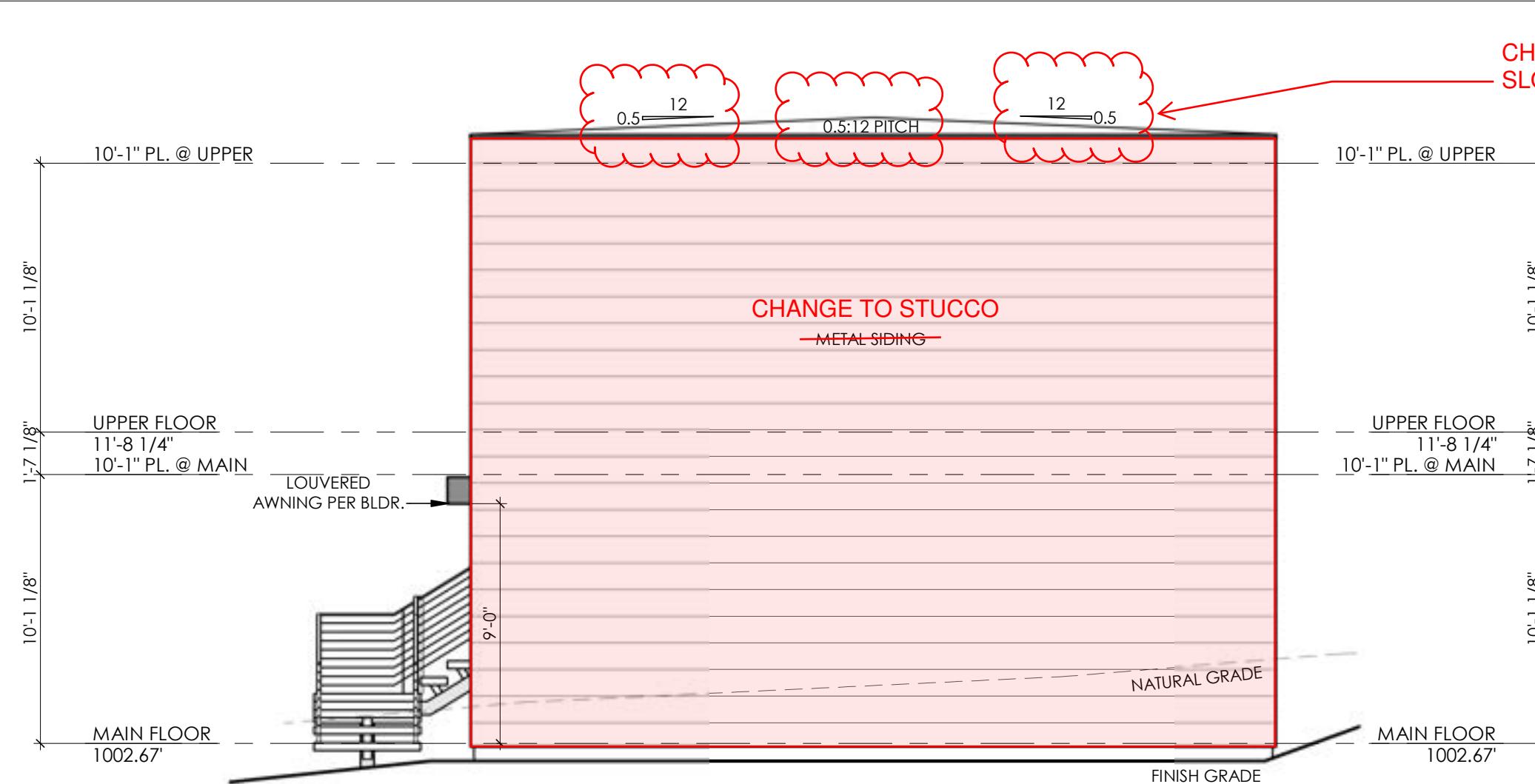
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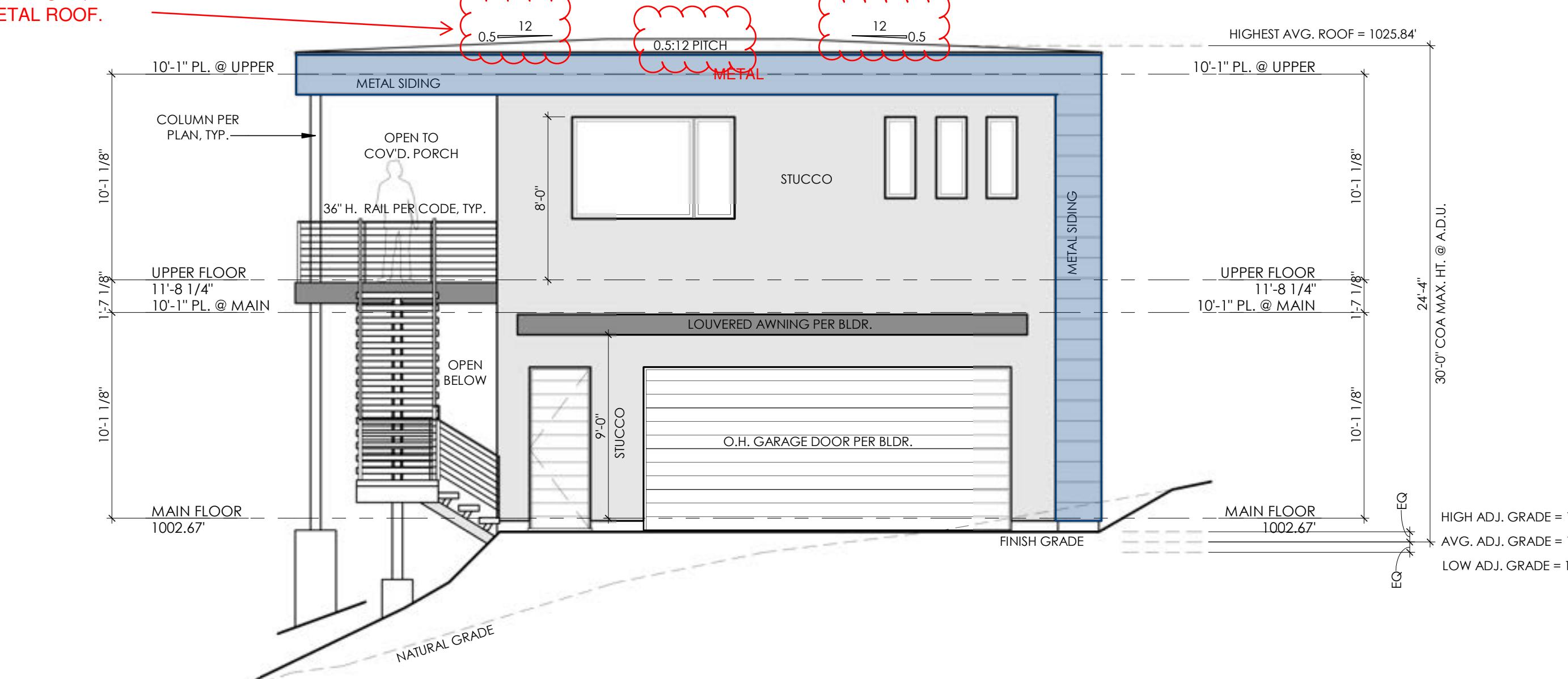
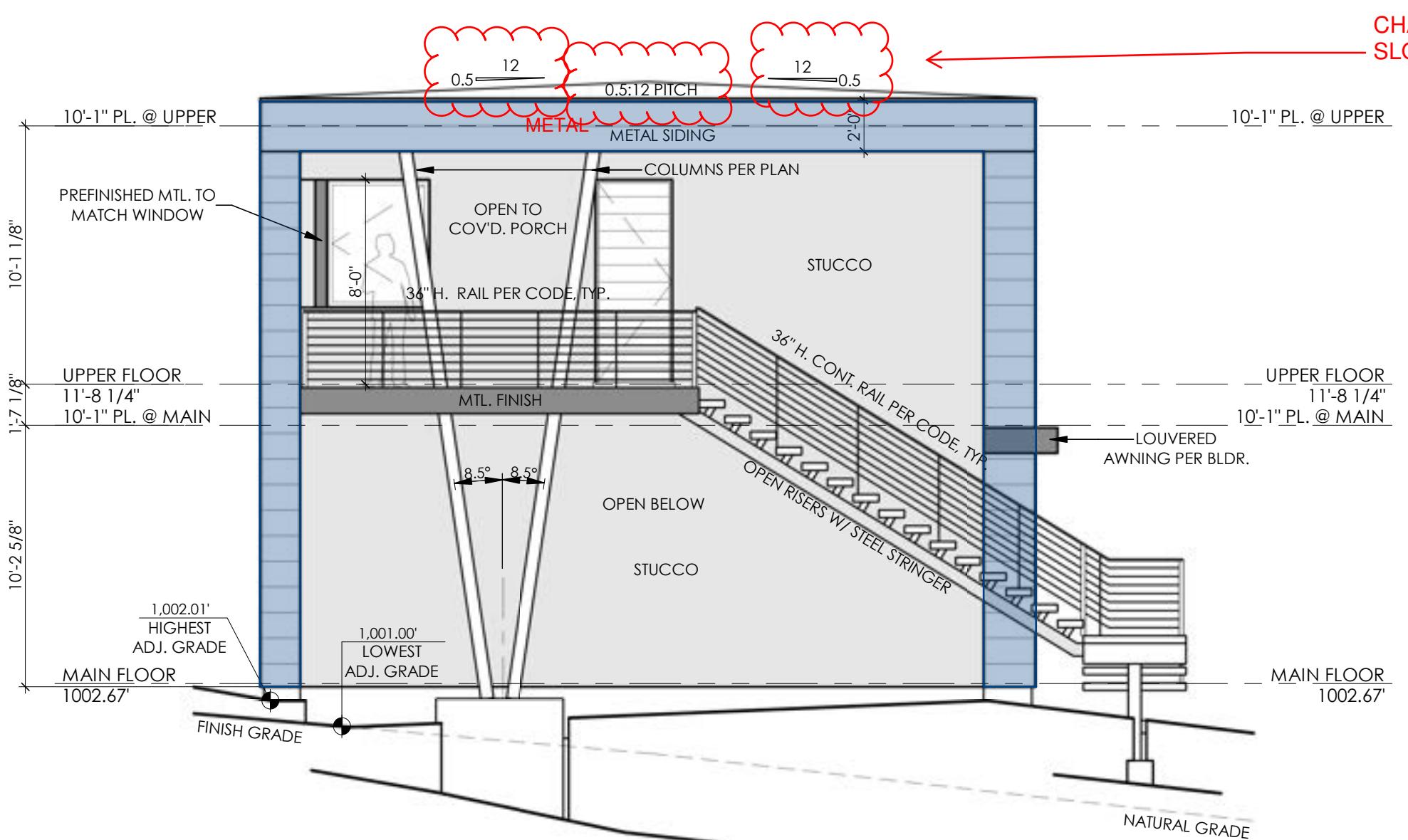
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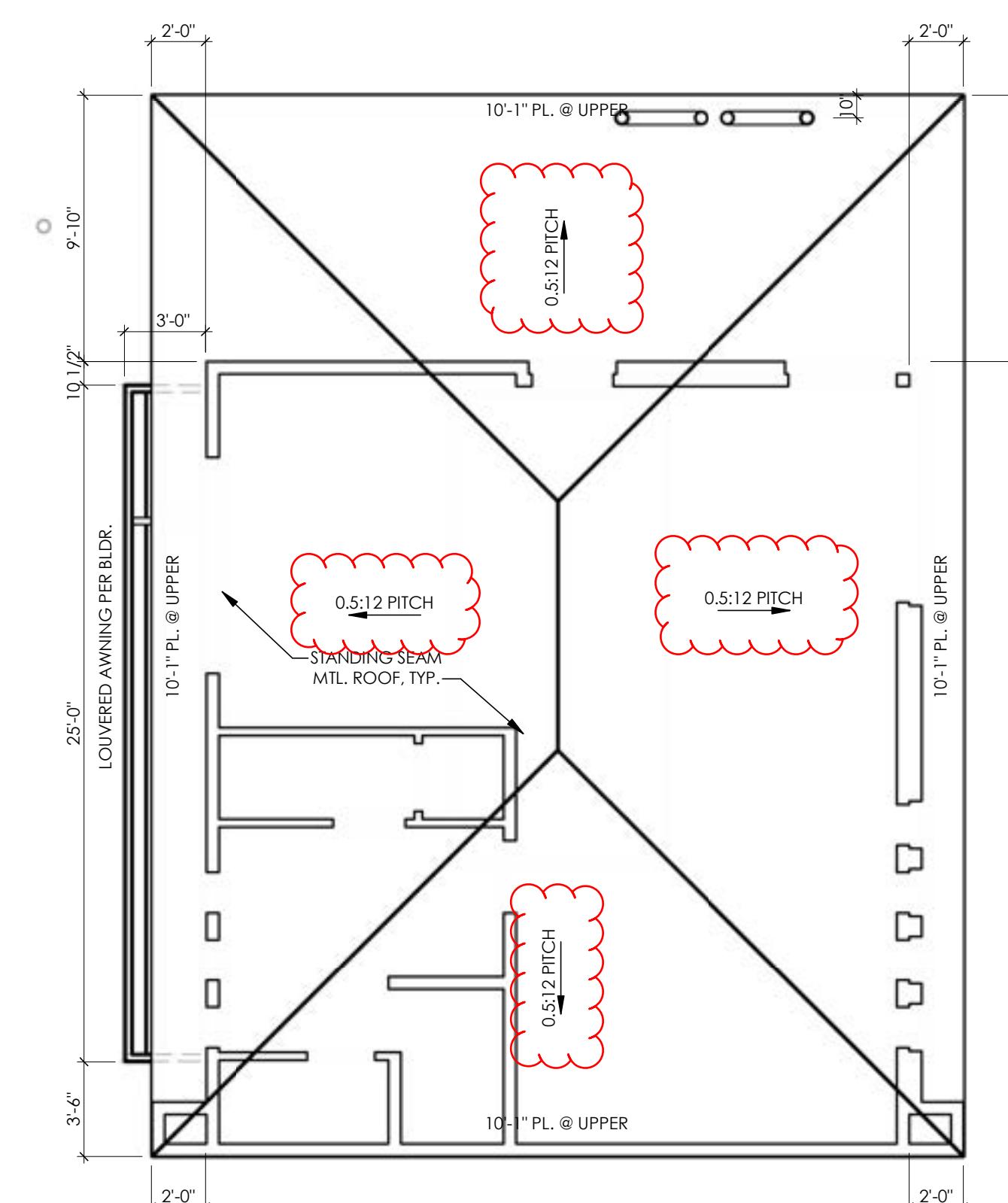
6 GARAGE RIGHT ELEVATION

4 GARAGE REAR ELEVATION



5 GARAGE LEFT ELEVATION

3 GARAGE FRONT ELEVATION



1 ROOF PLAN 3/16" = 1'-0"

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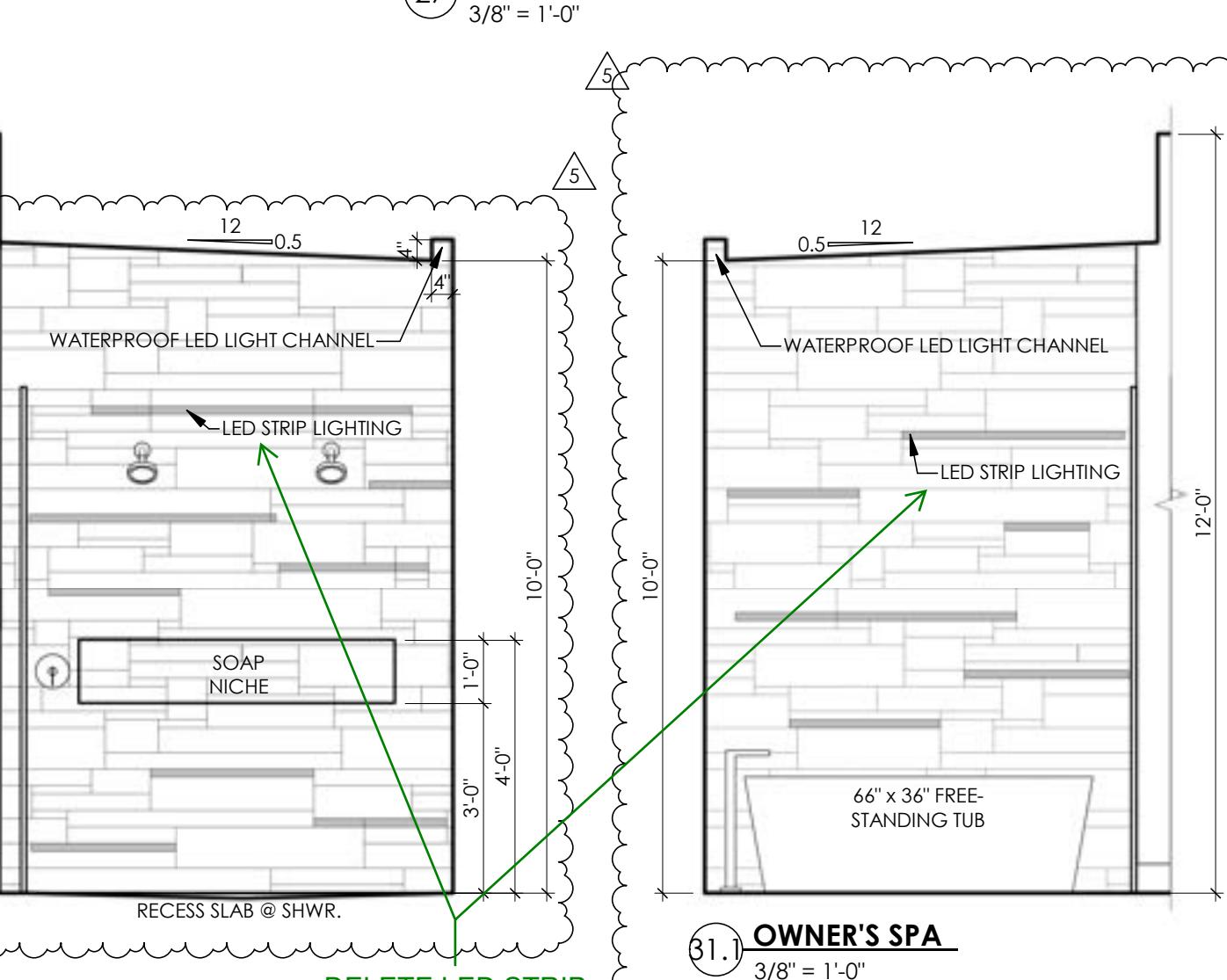
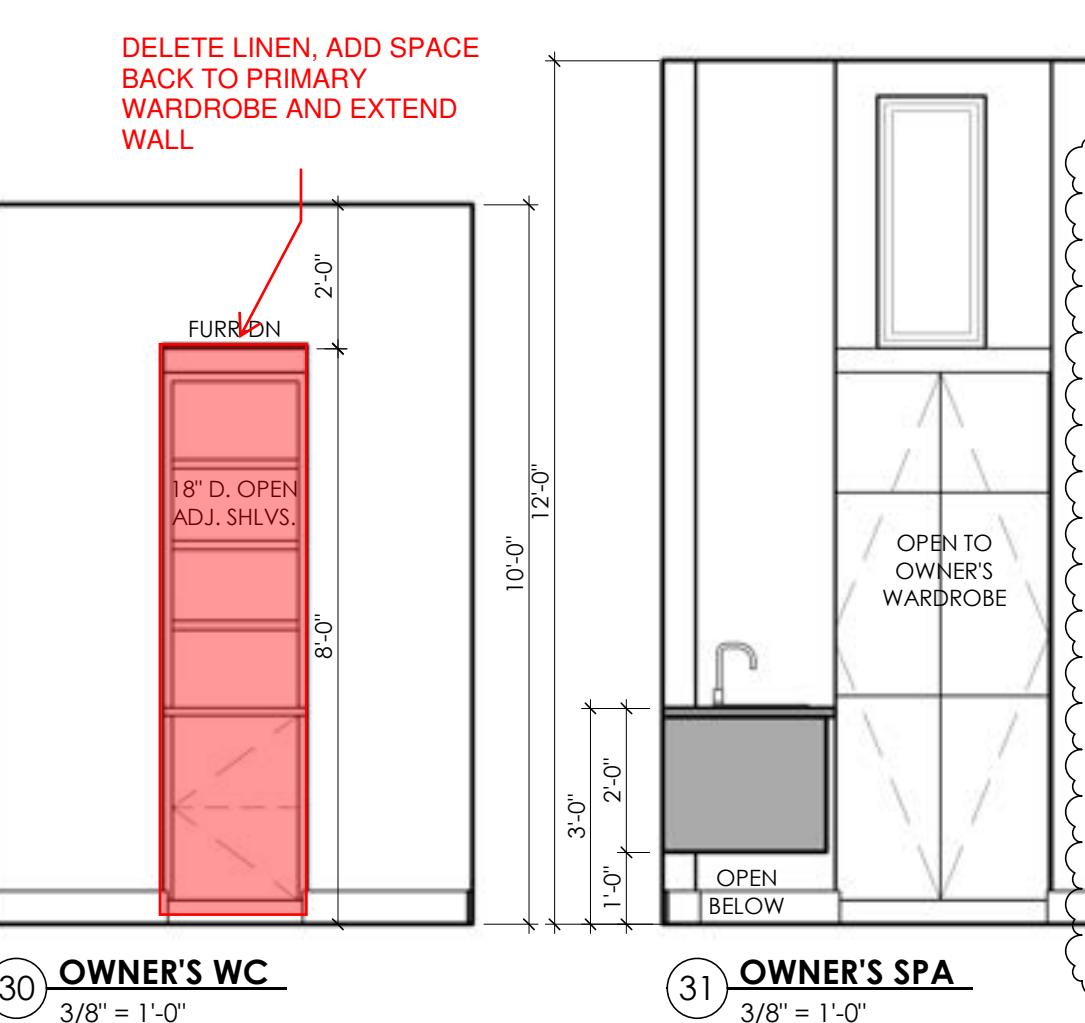
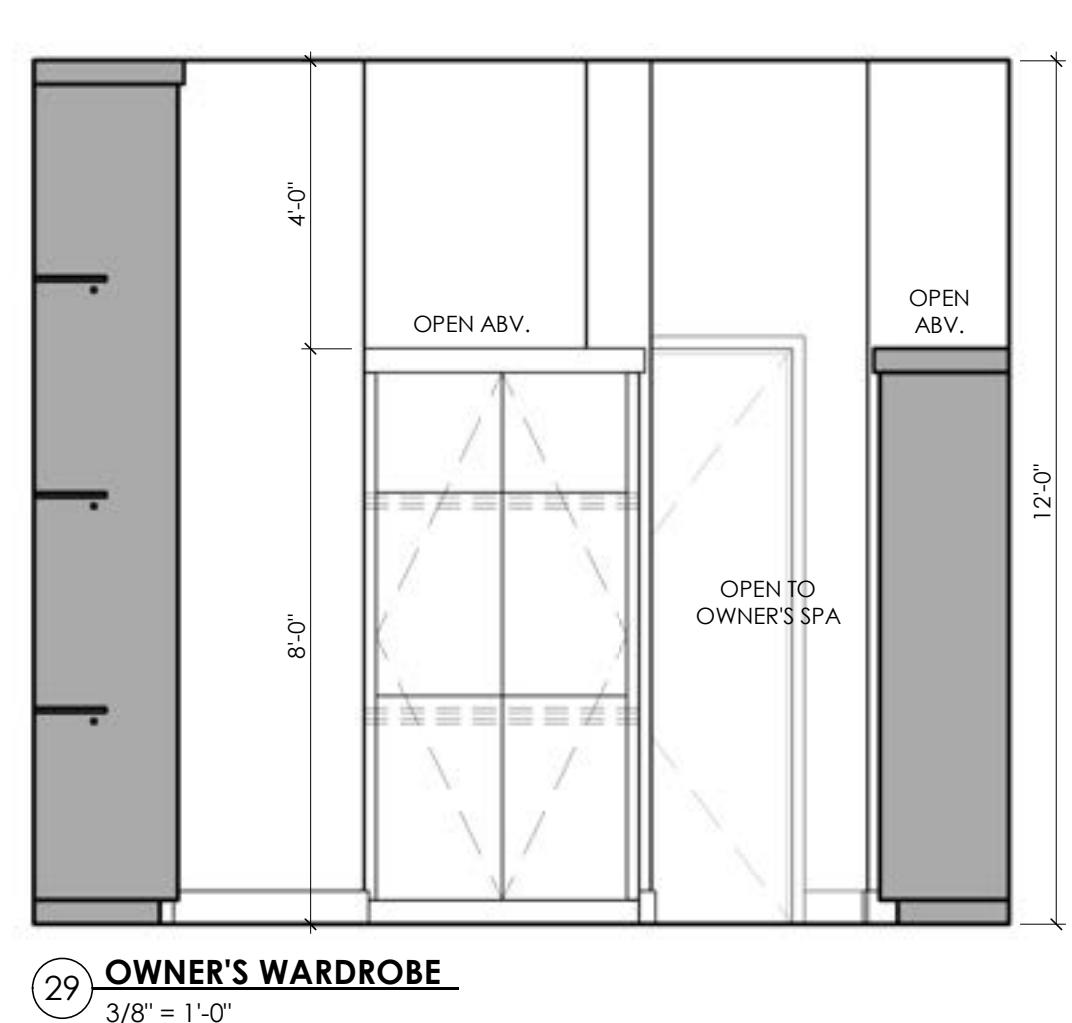
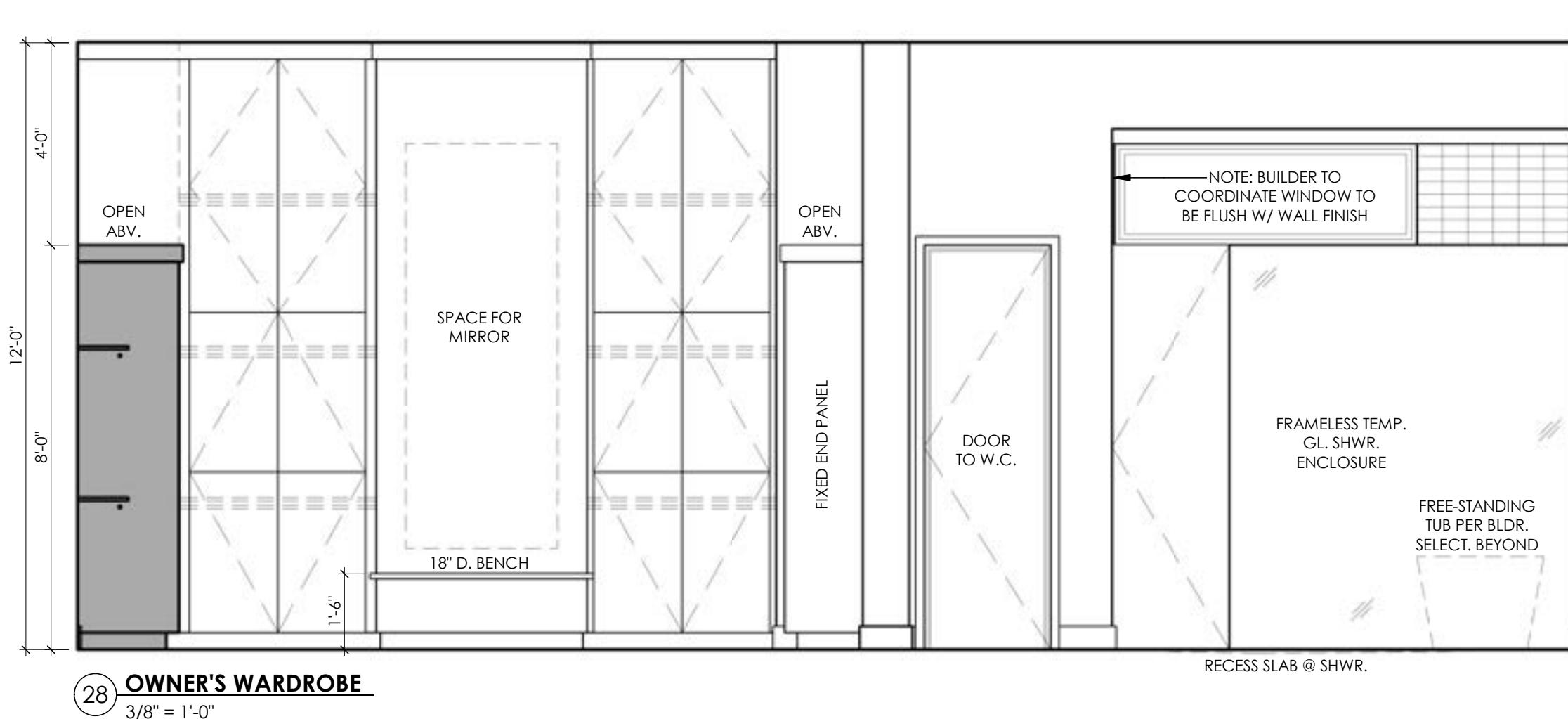
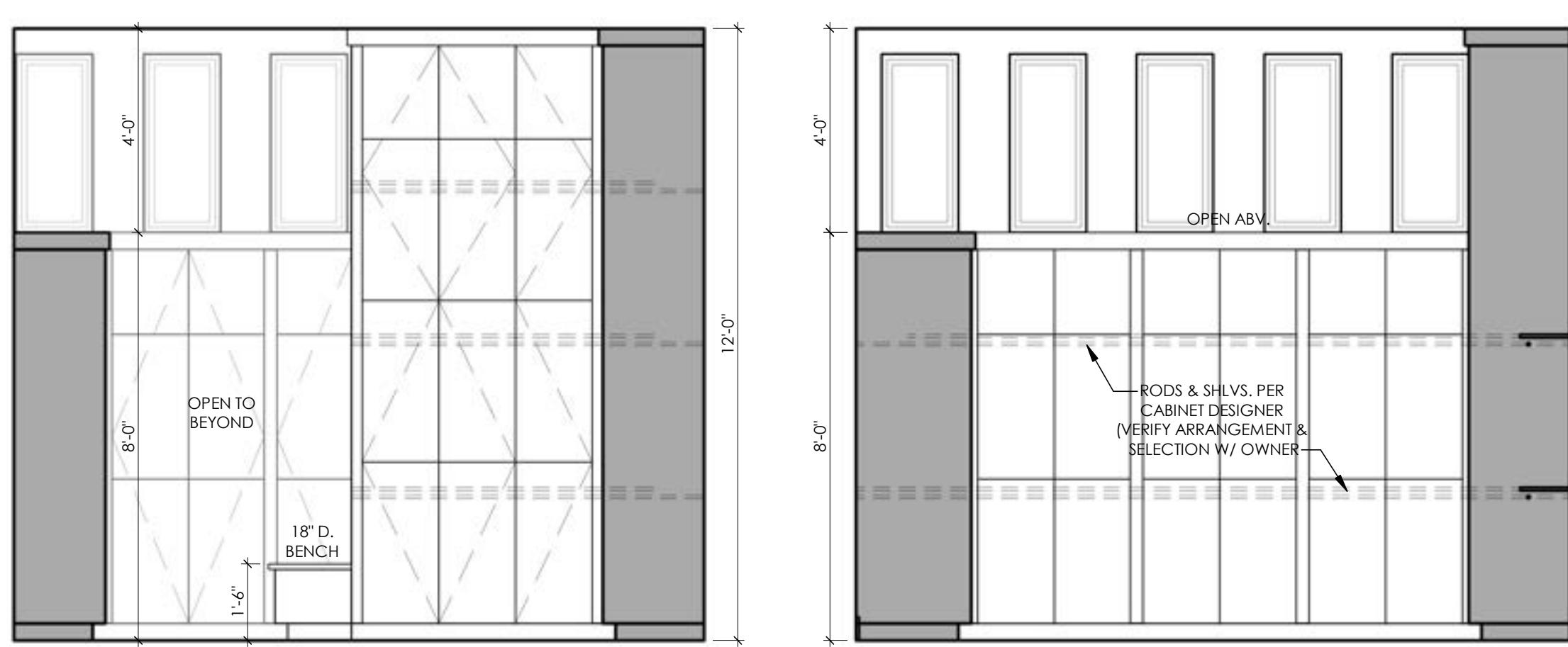
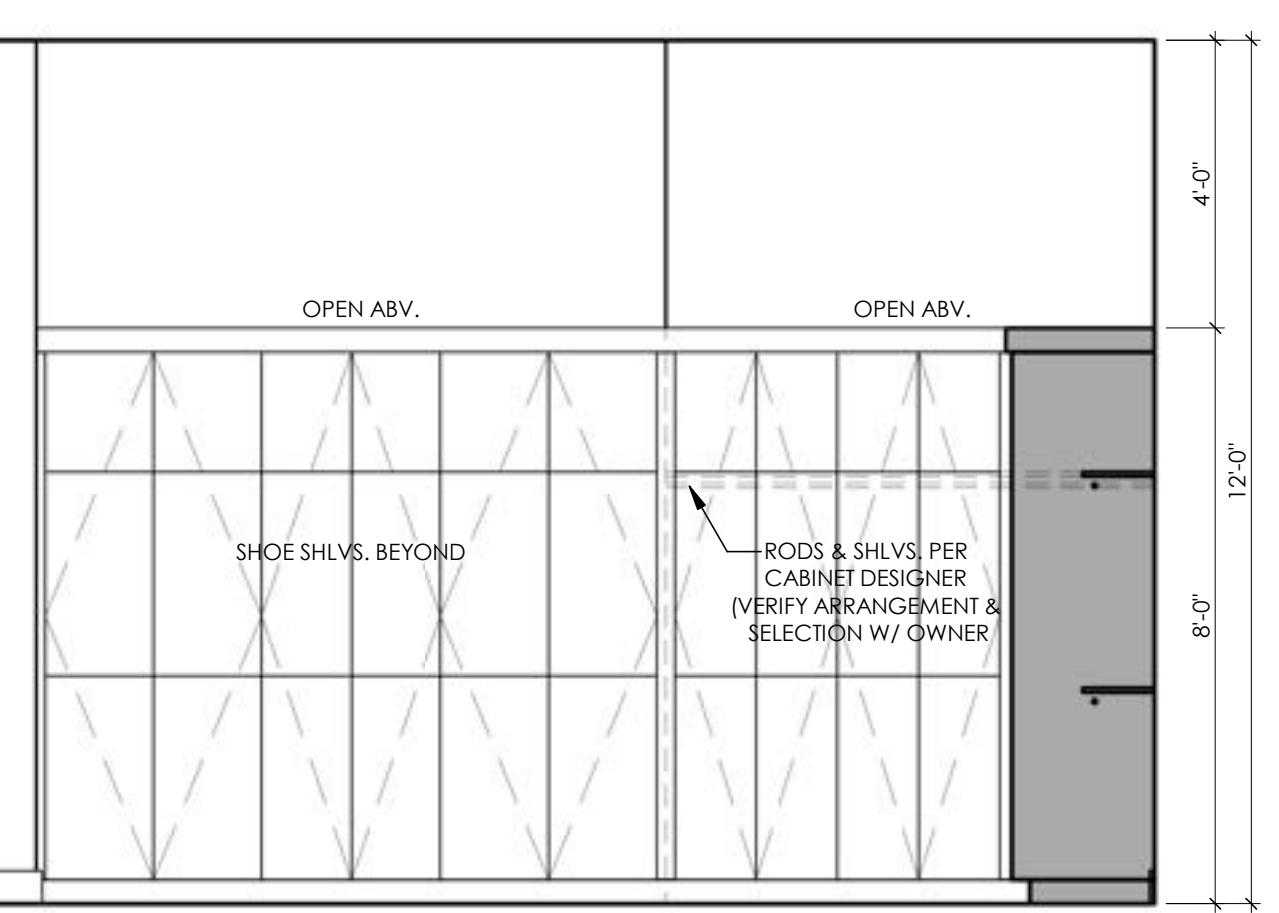
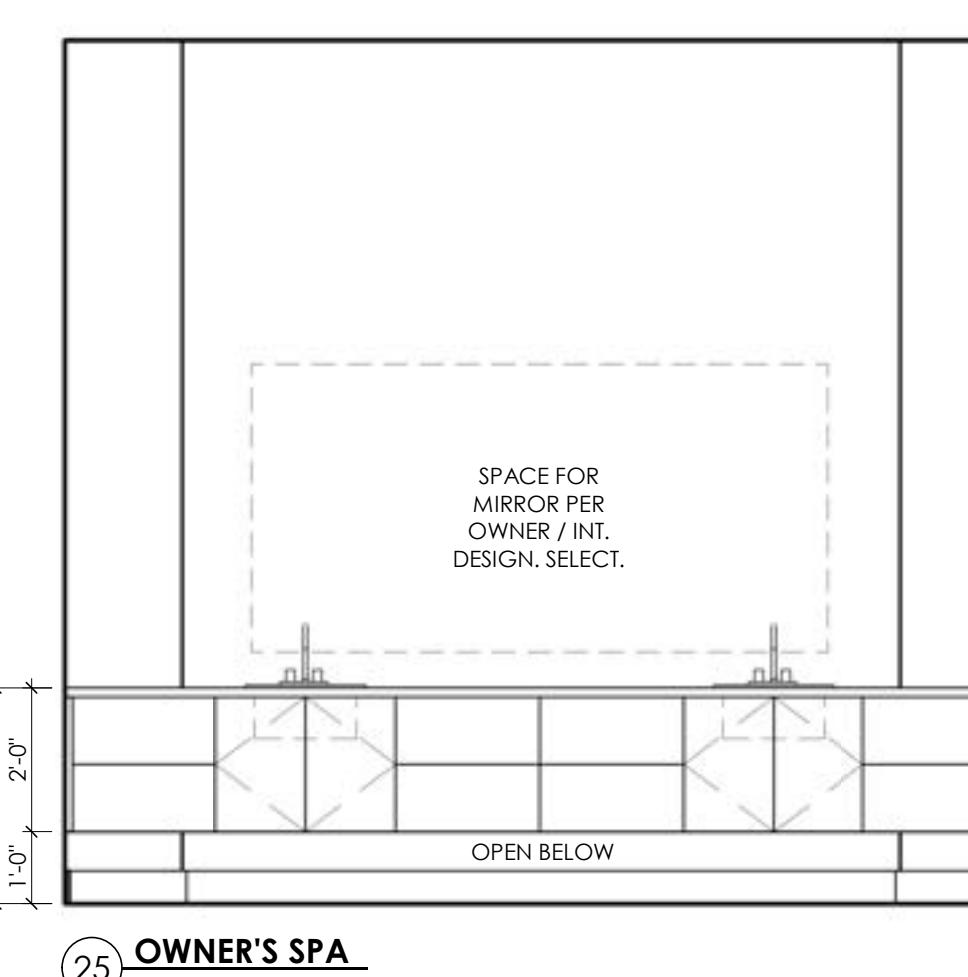
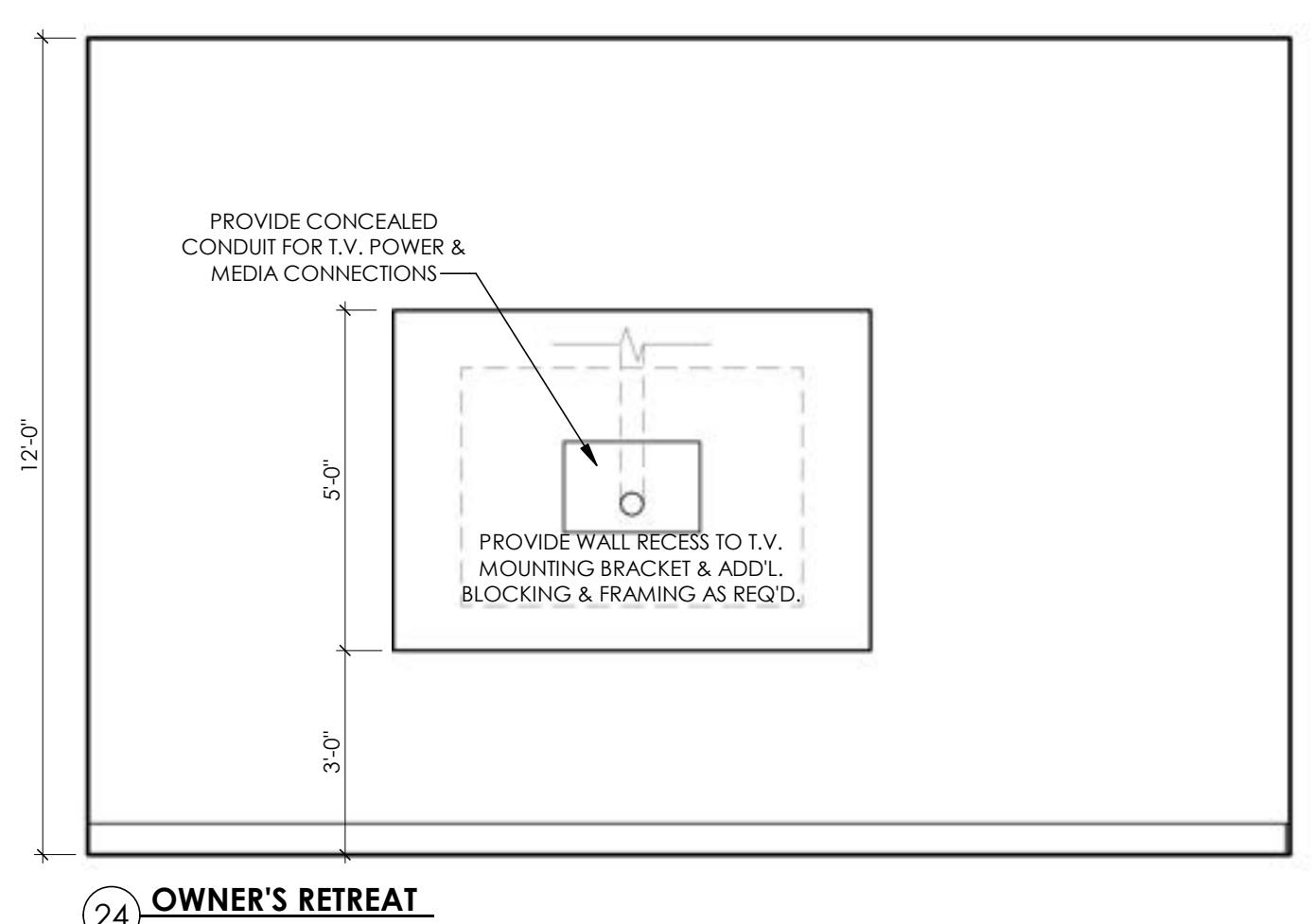
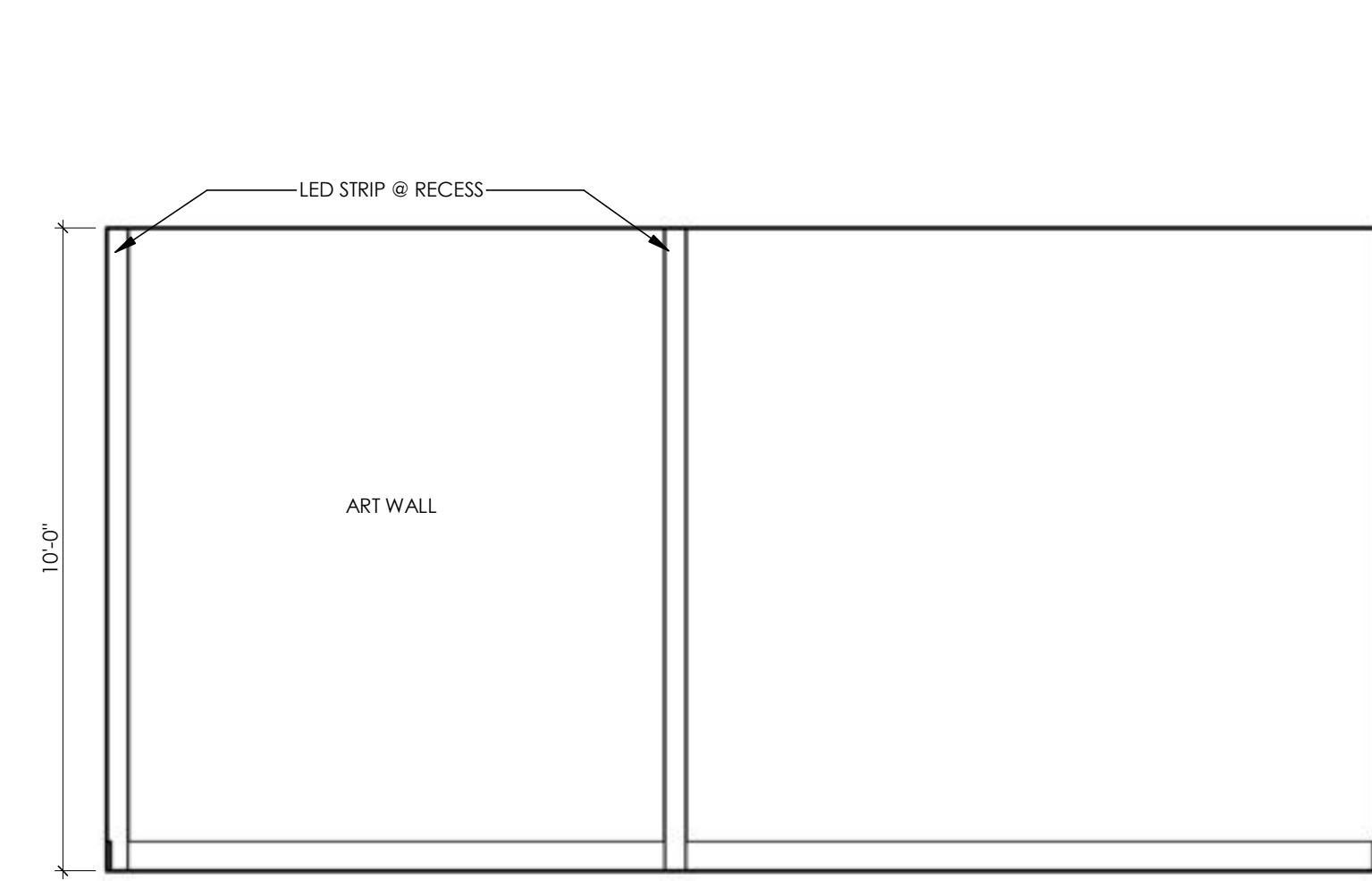
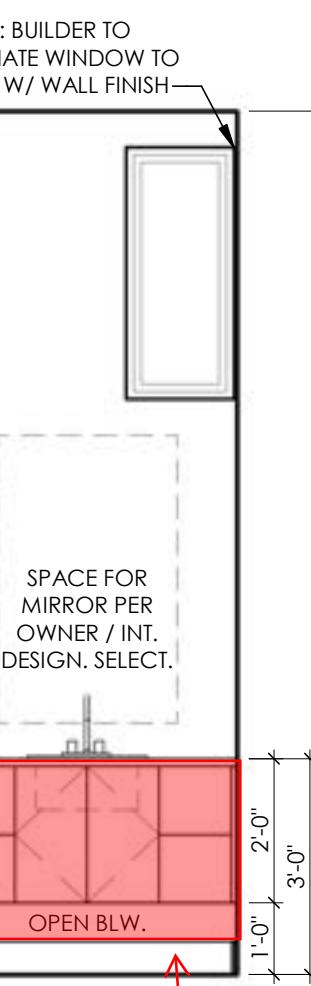
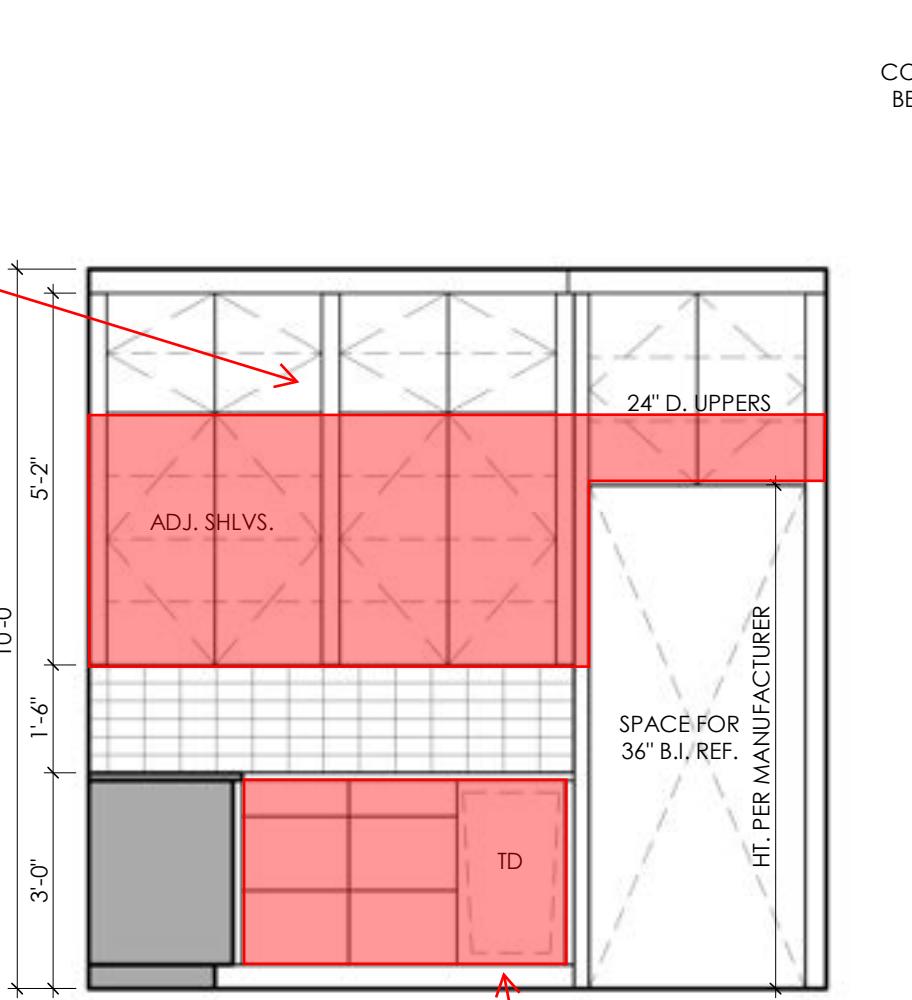
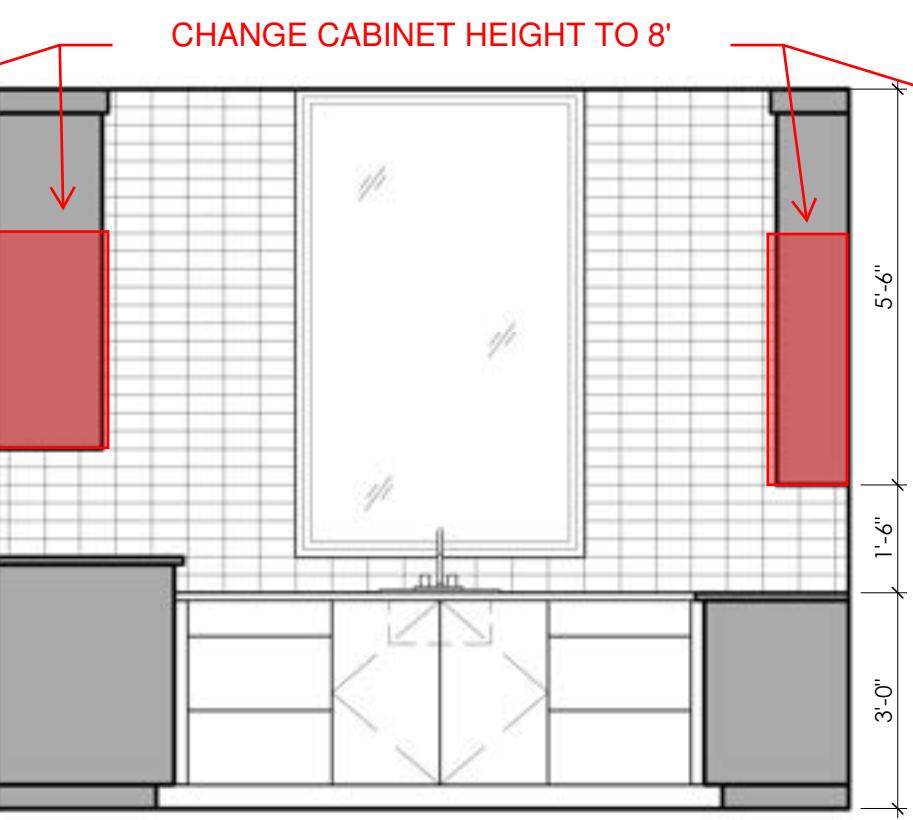
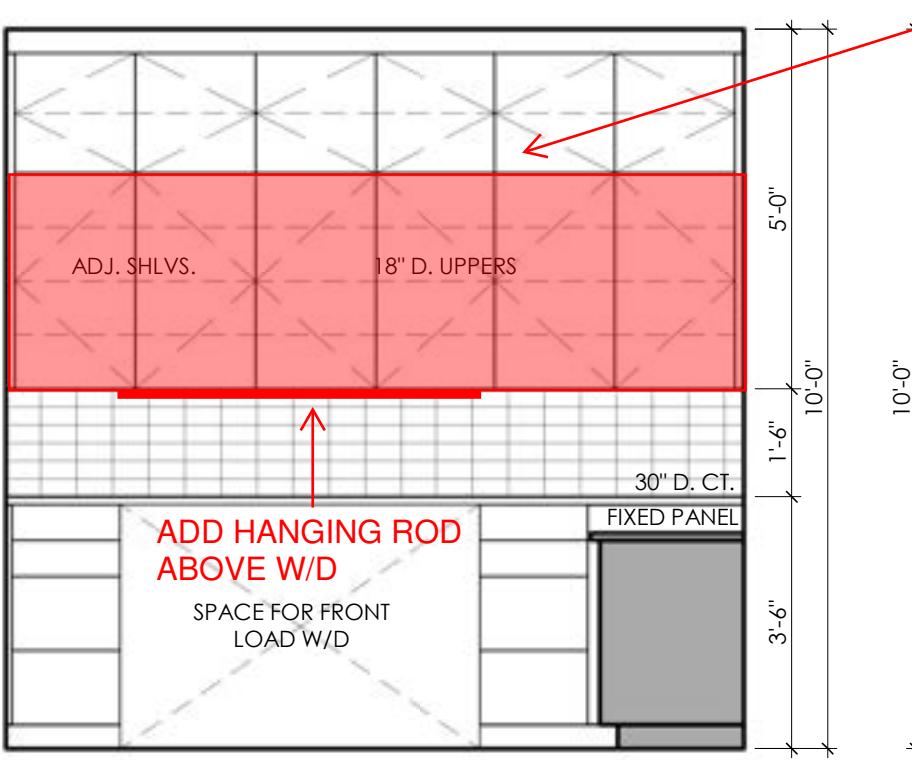
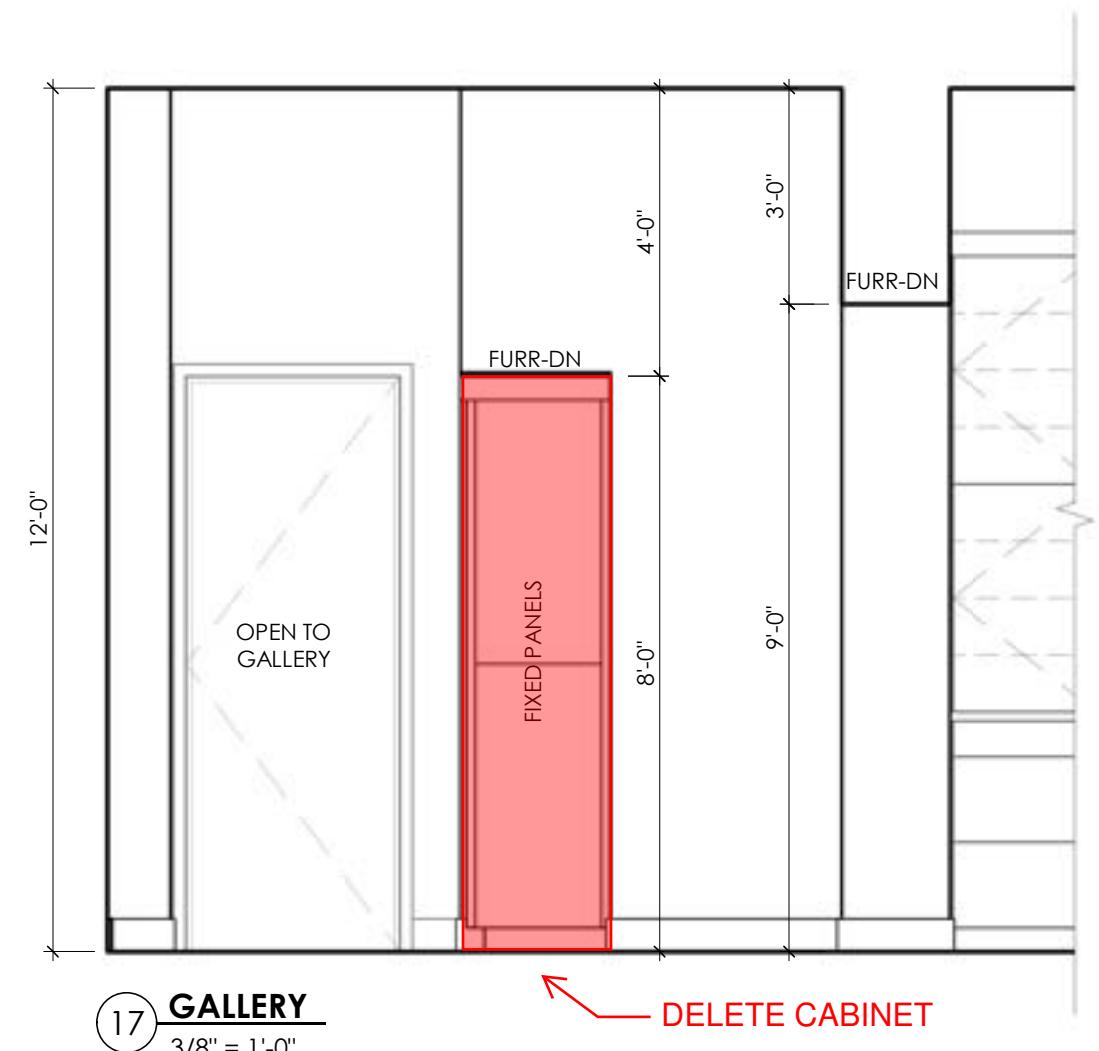
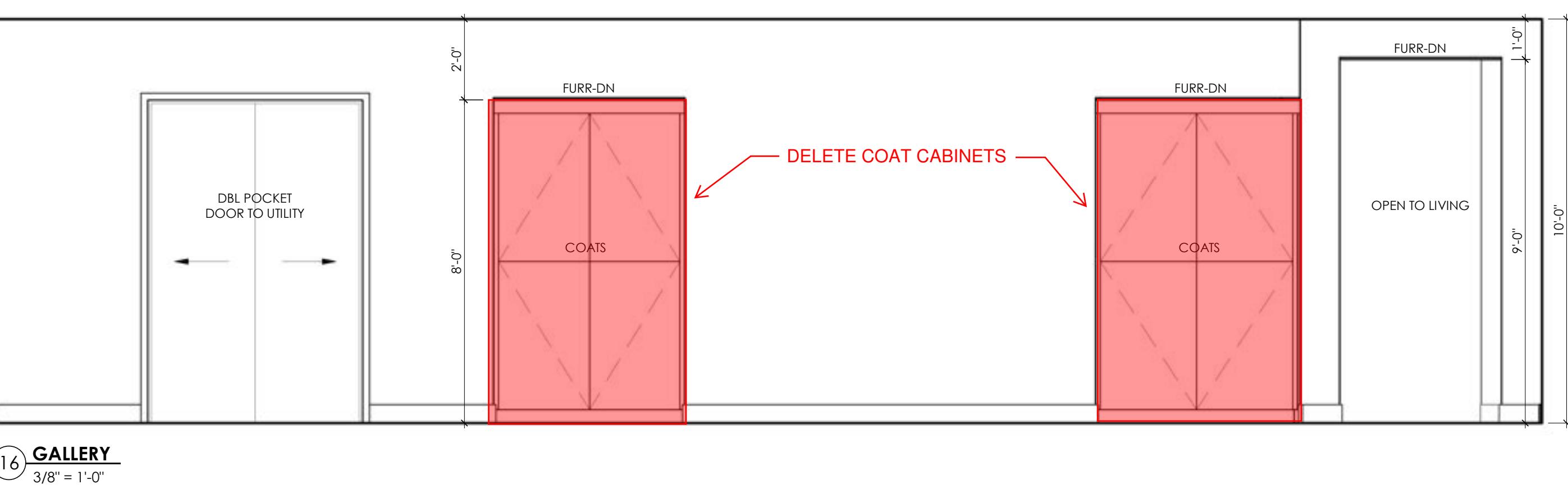
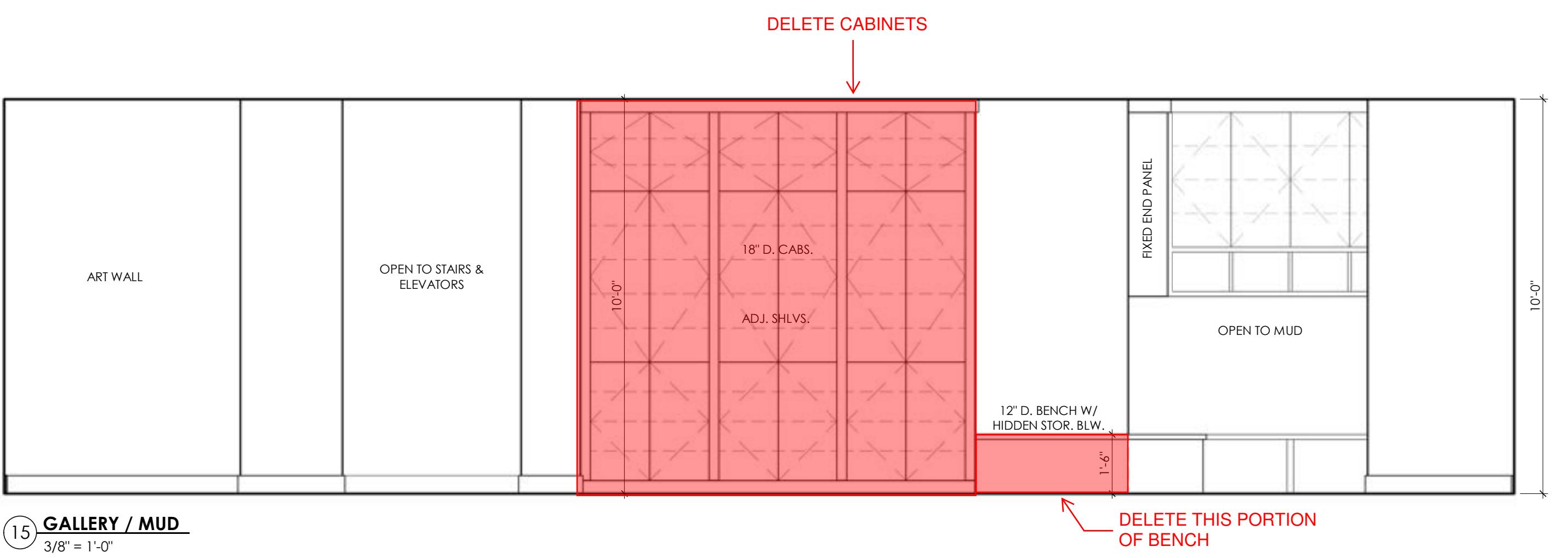
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DATE: 03/09/
CHECKED BY: D. JONES/ABD

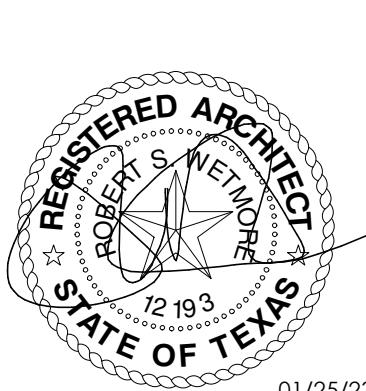
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Sendero Spec
6809 Oasis Pass
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Sheet: A14
14 of 21

Project No:
Drawn By:
Date:
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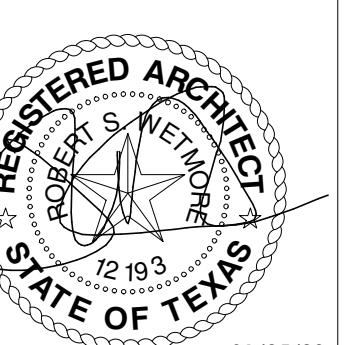
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SRK, SE, CC

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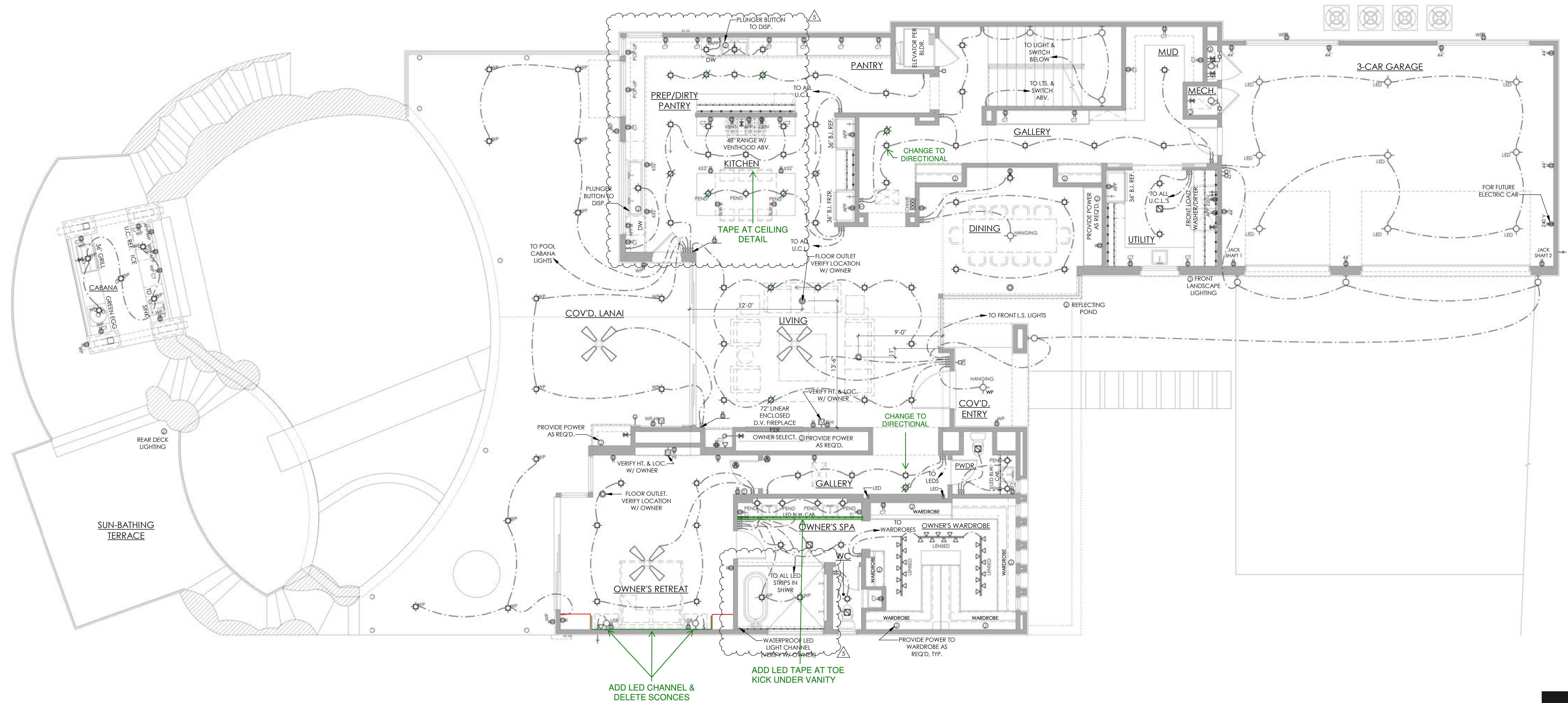
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CT NO: 21101
BY: SRK, SE, CC
ED BY: 03/09/2022
CT MGR: PC
 SRK



ELECTRICAL NOTES

1. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
2. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
3. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS, APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
5. COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
6. ALL RECESSED DOWNLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
7. PROVIDE DIMMER SWITCHES TO ALL LIGHTING FIXTURES AND RECESSED DOWN LIGHTS, EXCLUDING STORAGE AREAS AND SECONDARY BEDROOM CLOSETS.
8. GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
9. ALL SWITCHES TO BE @ 3'-0" A.F.F. TO CENTER LINE OF SWITCH PLATE; ALL OUTLETS TO BE 1'-0" A.F.F. TO CENTER LINE OF OUTLET UNLESS NOTED OTHERWISE.
10. OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
11. VERIFY LOCATION, HEIGHT & TYPE OF POWER TO ALL APPLIANCES. COORDINATE WITH MILLWORK, OWNER, & INTERIOR DESIGNER.
12. LOCATION OF FLOOR OUTLETS NOT REQUIRED BY CODE & ALL FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
13. PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
14. PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
15. PROVIDE POWER TO ALL HVAC UNIT(S). (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
16. PROVIDE SWITCH AT ATTIC ACCESS AND LIGHT NEAR HVAC UNIT(S) IN ATTIC.
17. MEDIA COMBINATION OUTLET(S) TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIA/TELECOMMUNICATIONS SYSTEMS.
18. PROVIDE BLOCKING FOR CEILING FANS WHERE SHOWN ON PLANS.
19. PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS.
20. PROVIDE ELECTRIC FOR POOL & OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
21. COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL DETECTORS SHALL BE HARD WIRED TO PRIMARY AND HAVE BATTERY BACK UP.
22. OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.

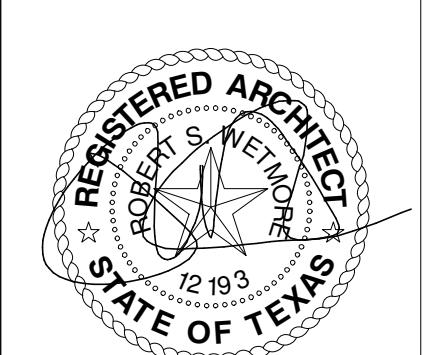
MAIN FLOOR ELECTRICAL

3/16" = 1'-0"

OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.

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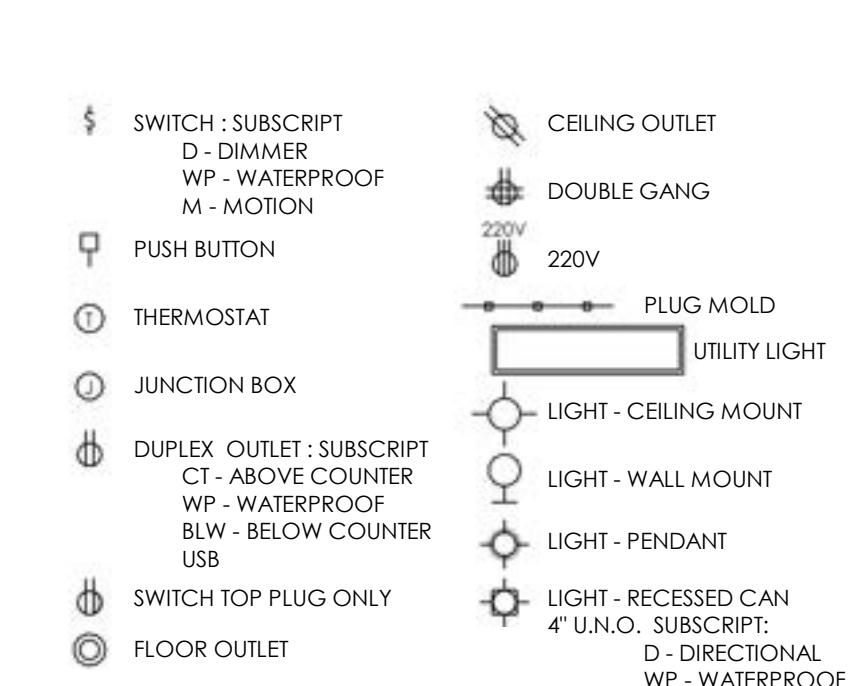


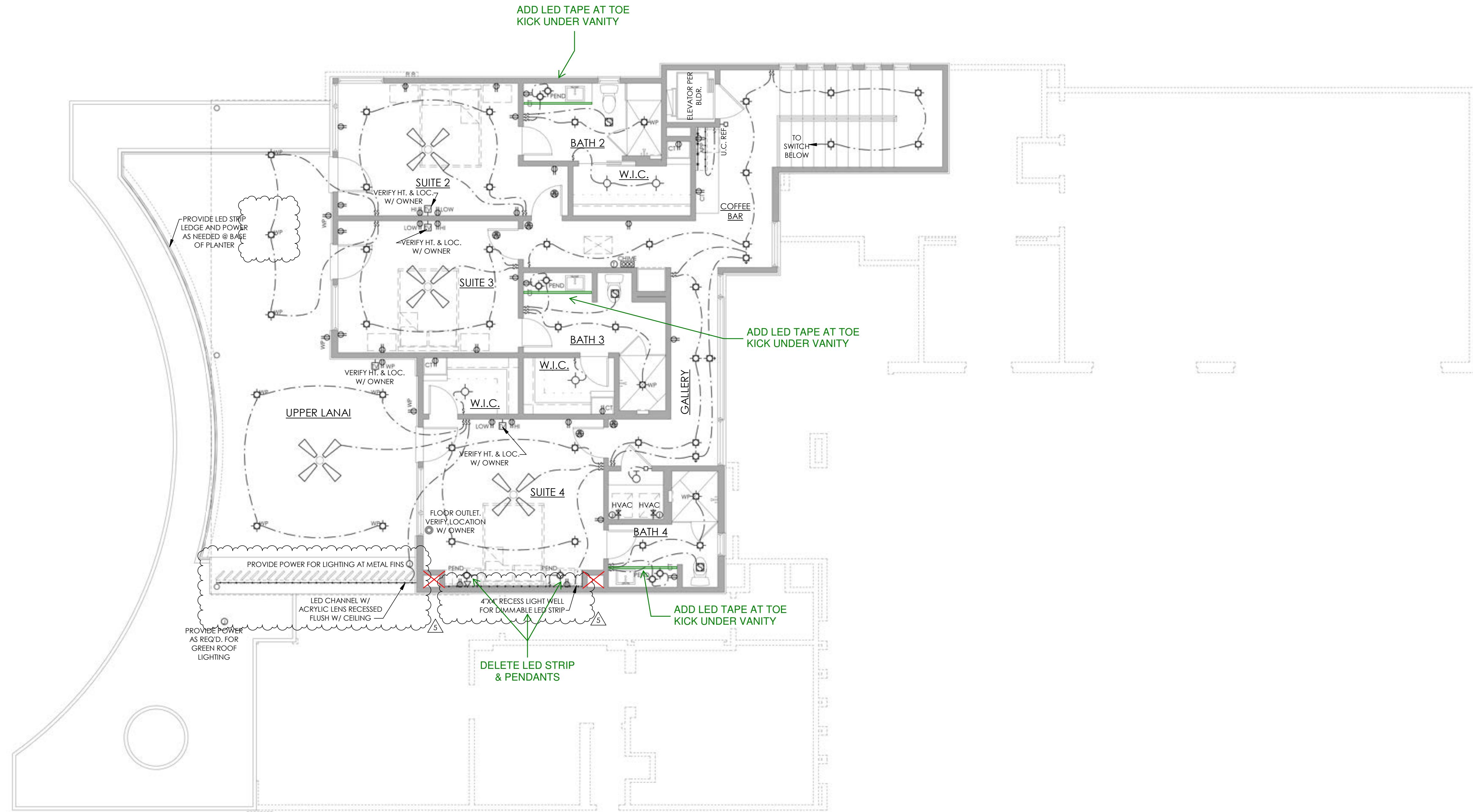
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6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET: A17

17 of 21

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PROJECT MGR:
SRK
03/09/2022
PC
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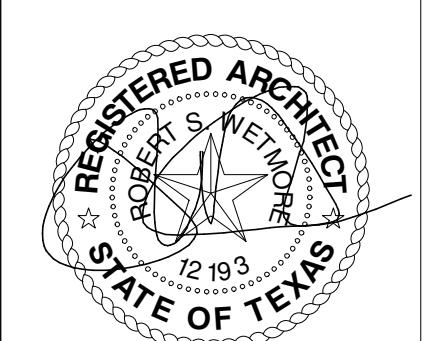


1 UPPER FLOOR ELECTRICAL
3/16" = 1'-0"

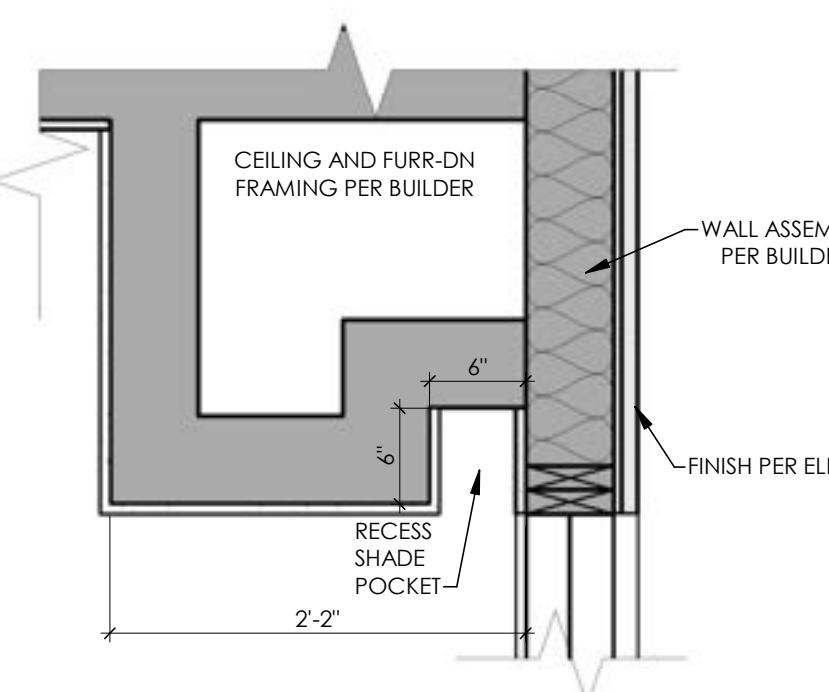
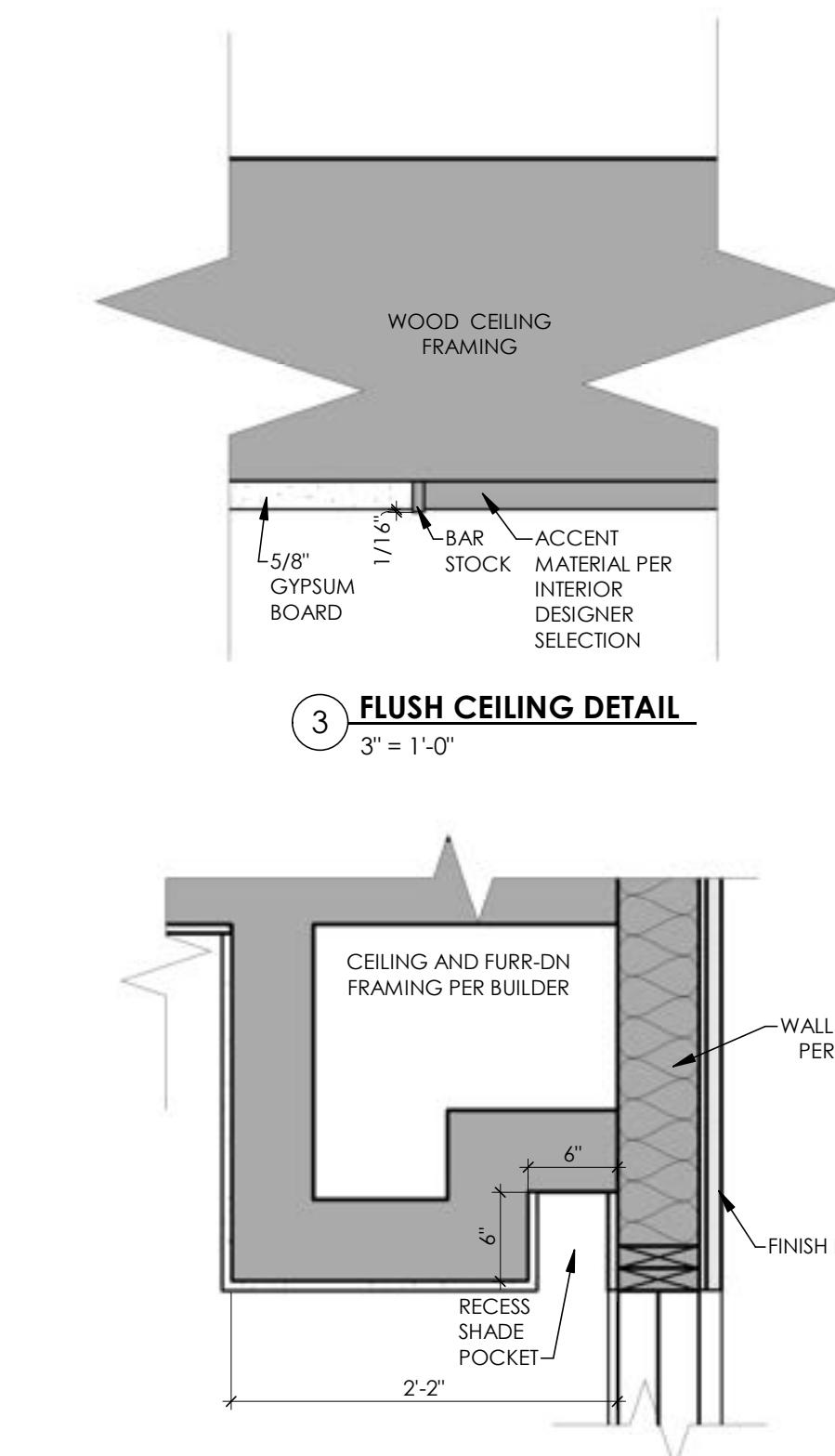
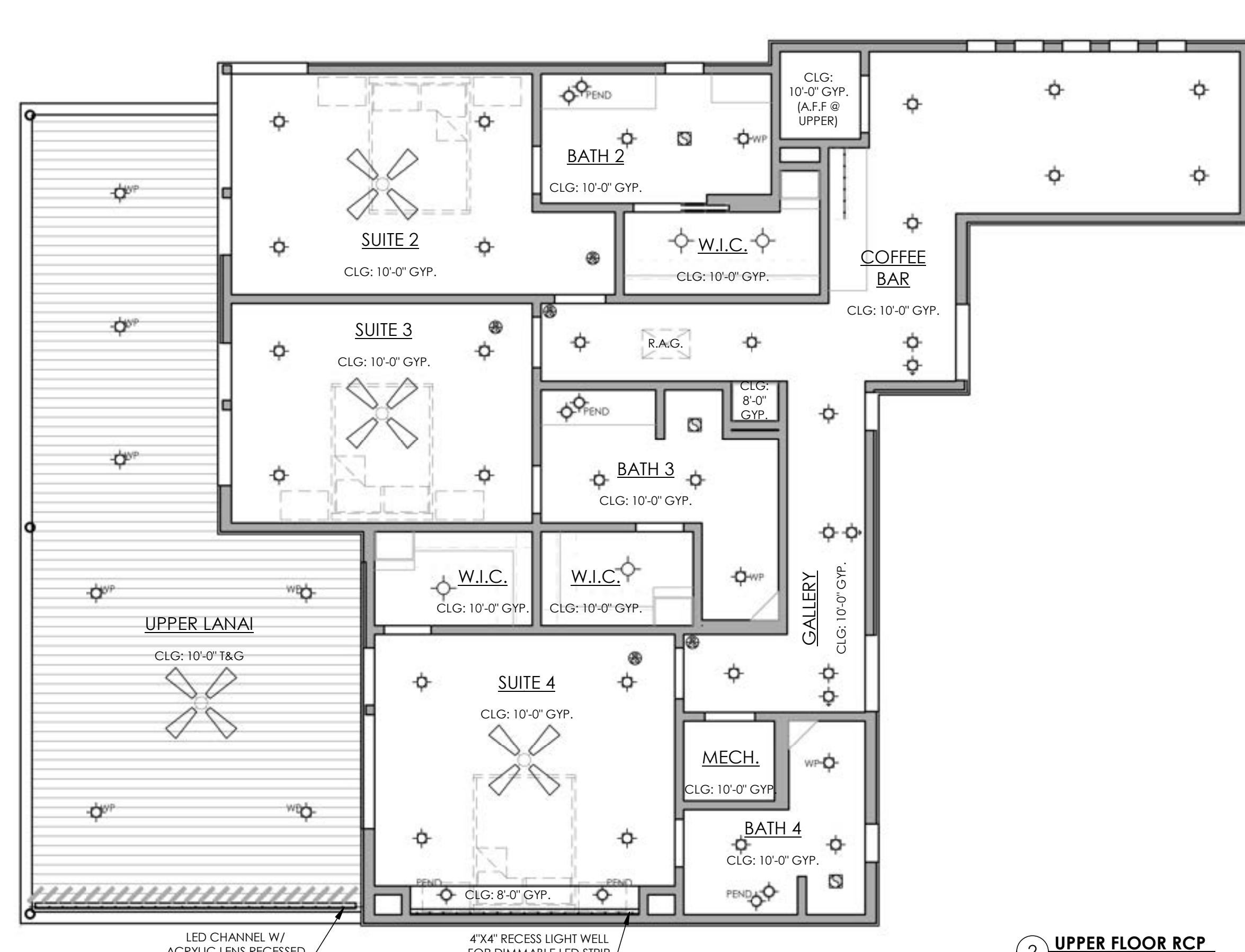
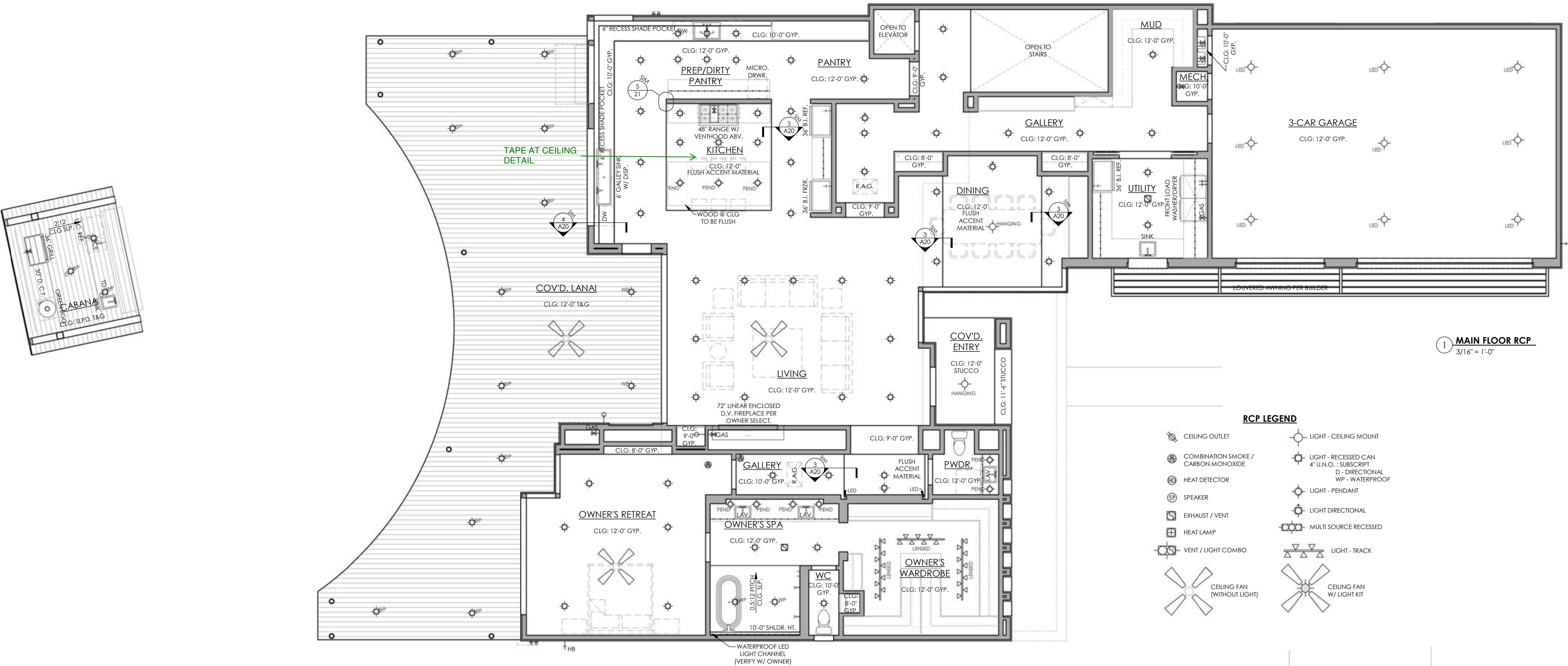
OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND
OTHER MILLWORK TO BE DETERMINED BY OWNER OR
INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH
ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.

CO
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18 of 21



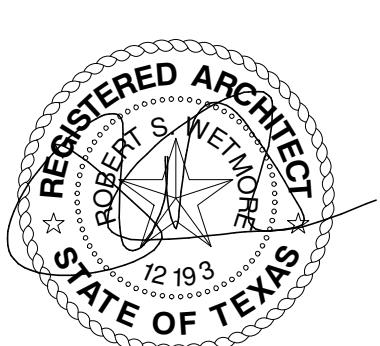
CEILING FURR-DN WITH SHADE RECESS

DETAIL

4 1" = 1'-0"



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20 of 21

PROJECT NO: 21101
DRAWN BY: CC
DATE: 03/09/2022
CHECKED BY: XX
PROJECT MGR: SRK

