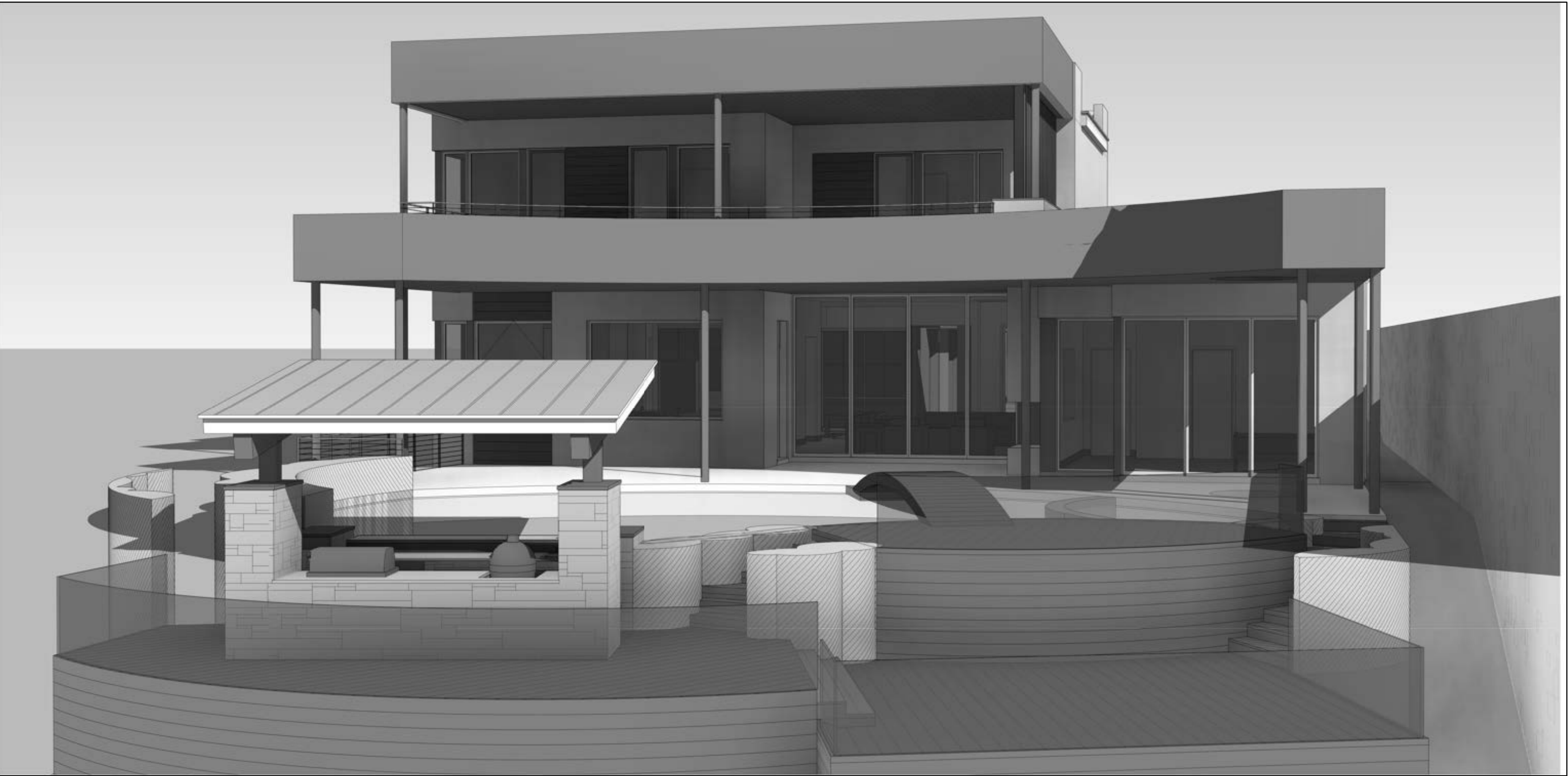




RENDERING: FRONT



RENDERING: REAR

ARCHITECT:
CORNERSTONE ARCHITECTS
7000 BEE CAVES RD., STE. #200
AUSTIN, TX 78746
P: 512-329-0007
CONTACT: sydney@cornerstonearchitectsllp.com

CONTRACTOR:
SENDERO HOMES
6907 N. CAPITOL OF TX HWY, STE. 370
AUSTIN, TX 78731
P: 512-637-3110
CONTACT: scott@senderohomes.com

STRUCTURAL ENGINEER:
FELDT CONSULTING ENGINEERS
10601 PECAN PARK BLVD., STE. 301 B
AUSTIN, TX 78750
P: 512-583-1399
CONTACT: ben@feldtconsulting.com

INTERIOR DESIGNER:
TBD

LANDSCAPE:
TBD

SHEET INDEX

SHEET	DESCRIPTION
1	SITE PLAN
1.1	IWUIC - CLASS B
2	MAIN FLOOR NOTES
3	MAIN FLOOR DIMENSIONS
4	UPPER FLOOR NOTES
5	UPPER FLOOR DIMENSIONS
6	LOWER FLOOR NOTES
7	LOWER FLOOR DIMENSIONS
8	GARAGE NOTES, DIMENSIONS, & ELECTRICAL
9	EXTERIOR ELEVATIONS
10	EXTERIOR ELEVATIONS
11	GARAGE ELEVATIONS & ROOF PLAN
12	ROOF PLAN
17	MAIN FLOOR ELECTRICAL
18	UPPER FLOOR ELECTRICAL
19	LOWER FLOOR ELECTRICAL

LOCATION MAP





CORNERSTONE
ARCHITECTS

7000 BEE CAVES RD. SUITE 200 AUSTIN TX 78746 512.229.0007

A CUSTOM RESIDENCE FOR
SENDERO HOMES

6809 OASIS PASS
AUSTIN, TEXAS 78732

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REVISION:



03/09/2022

SENDERO SPEC
6809 OASIS PASS
AUSTIN, TEXAS 78732
SHEET: CS

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: XX
PROJECT MGR: SRK

GENERAL SITE NOTES

- BUILDER TO RESCULPTURE TOPO/FINISH GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- FINAL LOCATION OF PROPOSED RESIDENCE TO BE DETERMINED BY BUILDER.
- EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 18" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
- THERE ARE NO STORM SEWER INLETS WITHIN THE LOT FRONTAGE OR 10'-0" BEYOND THE SIDE PROPERTY LINES.
- UTILITY LINE LOCATIONS ARE APPROXIMATES- GENERAL CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL EXTERIOR HVAC EQUIPMENT TO BE SCREENED PER CITY REQUIREMENTS, DEED RESTRICTIONS OF SUBDIVISION OR NEIGHBORHOOD ASSOCIATION.
- GARBAGE RECEPTACLES TO BE STORED IN GARAGE OR SCREENED FROM VIEW AND ANIMAL ACCESS.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- NO EXISTING TREES TO BE REMOVED OR DISTURBED WITHOUT OWNER APPROVAL.
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF 12" BELOW THE SURFACE OF THE GROUND IN THE AREA OF THE BUILDING.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.

AUTOMATIC SPRINKLER SYSTEM

A FULL RESIDENTIAL SPRINKLER SYSTEM DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH THE NFPA 13D OR THE 2021 IRC P2904 STANDARDS WILL BE INSTALLED IN THIS PROPERTY. THE PLANS FOR THE SPRINKLER SYSTEM MUST BE DESIGNED AND INSTALLED BY A TEXAS LICENSED SPRINKLER CONTRACTOR FOR NFPA 13D SYSTEMS OR A TEXAS LICENSED PLUMBER WITH THE IRC P2904 ENDORSEMENT ON THEIR LICENSE. THE SPRINKLER PLANS MUST BE SUBMITTED, REVIEWED, APPROVED, TESTED AND INSPECTED BY AFD PRIOR TO COVERING THE WALLS AND CEILINGS. A FLOW TEST OF THE MOST DEMANDING AREA WILL BE REQUIRED.

LEGAL DESCRIPTION

6809 OASIS PASS
LOT 10, COMANCHE PASS
SECTION 2
AUSTIN, TEXAS 78732
TRAVIS COUNTY

LOT INFORMATION

TOTAL LOT AREA: 22,199.33 SF ZONING: SF-2

MAXIMUM ALLOWED BUILDING COVERAGE @ 40% = 8,879.73 SF
MAXIMUM ALLOWED IMPERVIOUS COVERAGE @ 45% = 9,989.70 SF

CITY of AUSTIN AREA CALCULATIONS

CoA AREA NAME	EXISTING	NEW	TOTAL
a) 1ST FLOOR CONDITIONED AREA	0.00 SF	3,254.85 SF	3,254.85 SF
b) 2ND FLOOR CONDITIONED AREA	0.00 SF	2,311.84 SF	2,311.84 SF
c) 3RD FLOOR CONDITIONED AREA	0.00 SF	0.00 SF	0.00 SF
d) BASEMENT	0.00 SF	2,115.96 SF	2,115.96 SF
e) COVERED PARKING	0.00 SF	1,722.88 SF	1,722.88 SF
f) COVD PATIO, DECK, PORCH, AND/OR BALCONY	0.00 SF	2,012.52 SF	2,012.52 SF
g) OTHER COVERED OR ROOFED AREA	0.00 SF	146.06 SF	146.06 SF
h) UNCOVERED WOOD DECK	0.00 SF	1,246.68 SF	1,246.68 SF
TOTAL BUILDING AREA	0.00 SF	12,810.79 SF	12,810.79 SF
i) POOL	0.00 SF	0.00 SF	0.00 SF
j) SPA	0.00 SF	0.00 SF	0.00 SF
k) REMODELED FLOOR AREA, EXCLUDING ADDITION / NEW CONSTRUCTION	0.00 SF	0.00 SF	0.00 SF

IMPERVIOUS COVER CALCULATIONS

AREA NAME	EXISTING	NEW	TOTAL
a) 1ST FLOOR CONDITIONED AREA	0.00 SF	3,254.85 SF	3,254.85 SF
e) COVERED PARKING	0.00 SF	1,722.88 SF	1,722.88 SF
f) COVD PATIO, DECK, PORCH, AND/OR BALCONY	0.00 SF	1,395.23 SF	1,395.23 SF
g) OTHER COVERED OR ROOFED AREA	0.00 SF	146.06 SF	146.06 SF
TOTAL BUILDING COVERAGE (ONLY GROUND FLOOR AREAS INCLUDED FOR TOTAL BUILDING COVERAGE)	0.00 SF	6,519.02 SF	6,519.02 SF
A/C PADS	0.00 SF	28.44 SF	28.44 SF
DECK	0.00 SF	623.34 SF	623.34 SF
DRIVEWAY	0.00 SF	2,480.51 SF	2,480.51 SF
FLATWORK	0.00 SF	159.00 SF	159.00 SF
POOL EQUIPMENT	0.00 SF	40.00 SF	40.00 SF
STAIRS	0.00 SF	44.00 SF	44.00 SF
TOTAL IMPERVIOUS (UNCOVD WOOD DECK COUNTED @ 50% FOR TOTAL IMPERVIOUS)	0.00 SF	9,894.31 SF	9,894.31 SF
TOTAL PROJECT BUILDING COVERAGE @ 6,519.02 SF = 29.37%			
TOTAL PROJECT IMPERVIOUS COVERAGE @ 9,894.31 SF = 44.57%			

TREE LIST

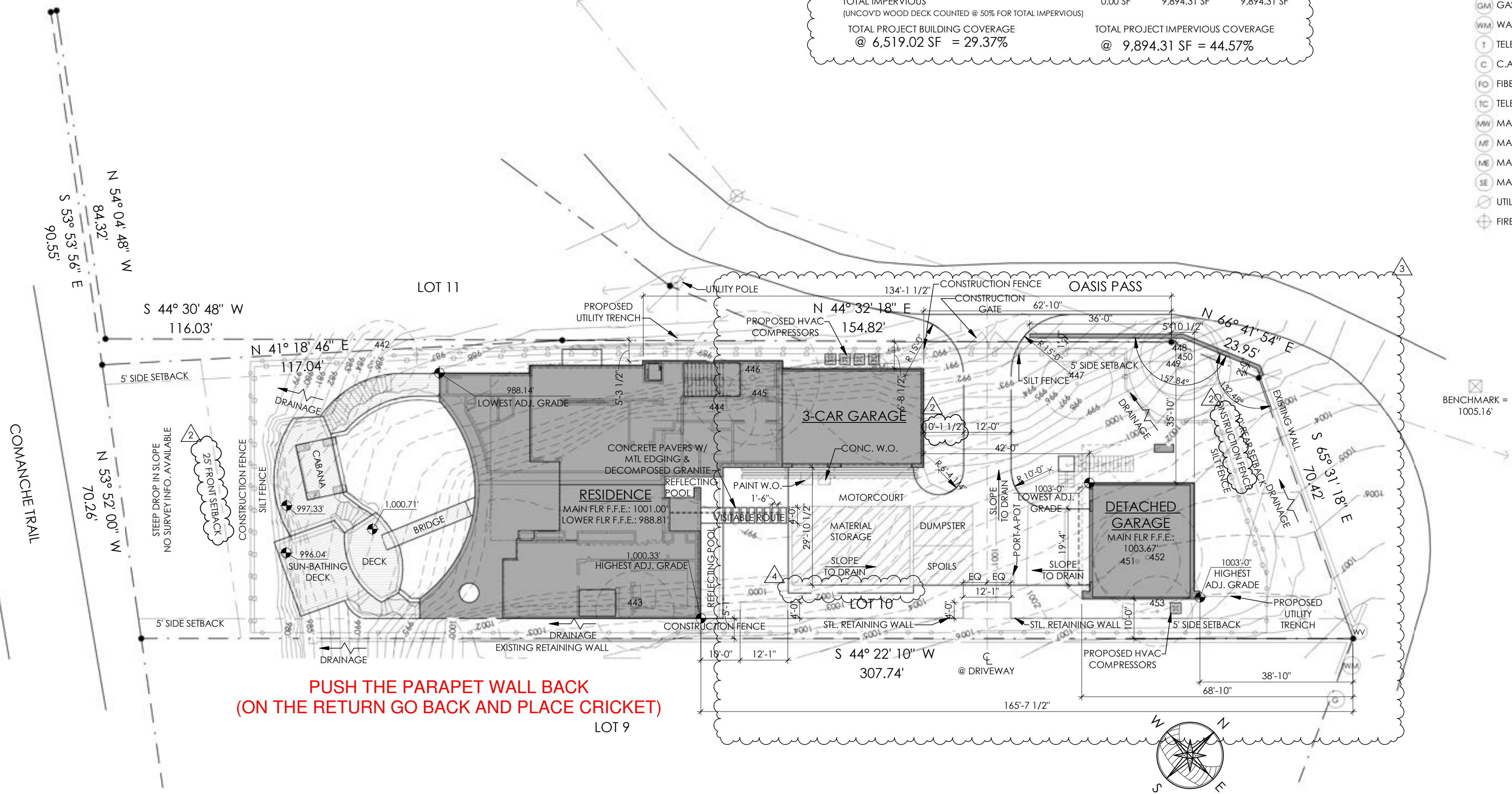
DEMO	TAG NO.	SIZE	SPECIES
REMOVE	442	9"	HACKBERRY
REMOVE	443	10"	LIVE OAK
REMOVE	444	10"	HACKBERRY
REMOVE	445	9"	HACKBERRY
REMOVE	446	17"	HACKBERRY
	447	9"	SPANISH OAK
	448	10"	SPANISH OAK
	449	13"	SPANISH OAK
	450	9"	SPANISH OAK
	451	11"	CEDAR ELM
	452	14"	CEDAR ELM
REMOVE	453	9"	LIVE OAK

TREE LEGEND

- 1/4 CRITICAL ROOT ZONE (NO CUT/FILL)
- 1/2 CRITICAL ROOT ZONE (NO CUT/FILL > 4')
- DRIP ZONE

SITE LEGEND

- CONSTRUCTION FENCE
- SILT FENCE
- BENCHMARK
- ELECTRIC TRANSFORMER
- ELECTRIC BOX
- ELECTRIC METER
- DROP INLET
- SEWER
- CLEANOUT
- GAS METER
- GAS METER
- GAS MARKER
- WATER METER
- TELEPHONE PEDESTAL
- C.A.T.V. PEDESTAL
- FIBER OPTICS
- TELECOMMUNICATIONS
- MANHOLE - WATER
- MANHOLE - TELEPHONE
- MANHOLE - ELECTRIC
- MANHOLE - SEWER
- UTILITY POLE
- FIRE HYDRANT



1 SITE PLAN
1" = 20'-0"

GOVERNING CODE:
2021 INTERNATIONAL RESIDENTIAL CODE
CITY OF AUSTIN AMENDMENTS

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2 04/18/22 REV 2

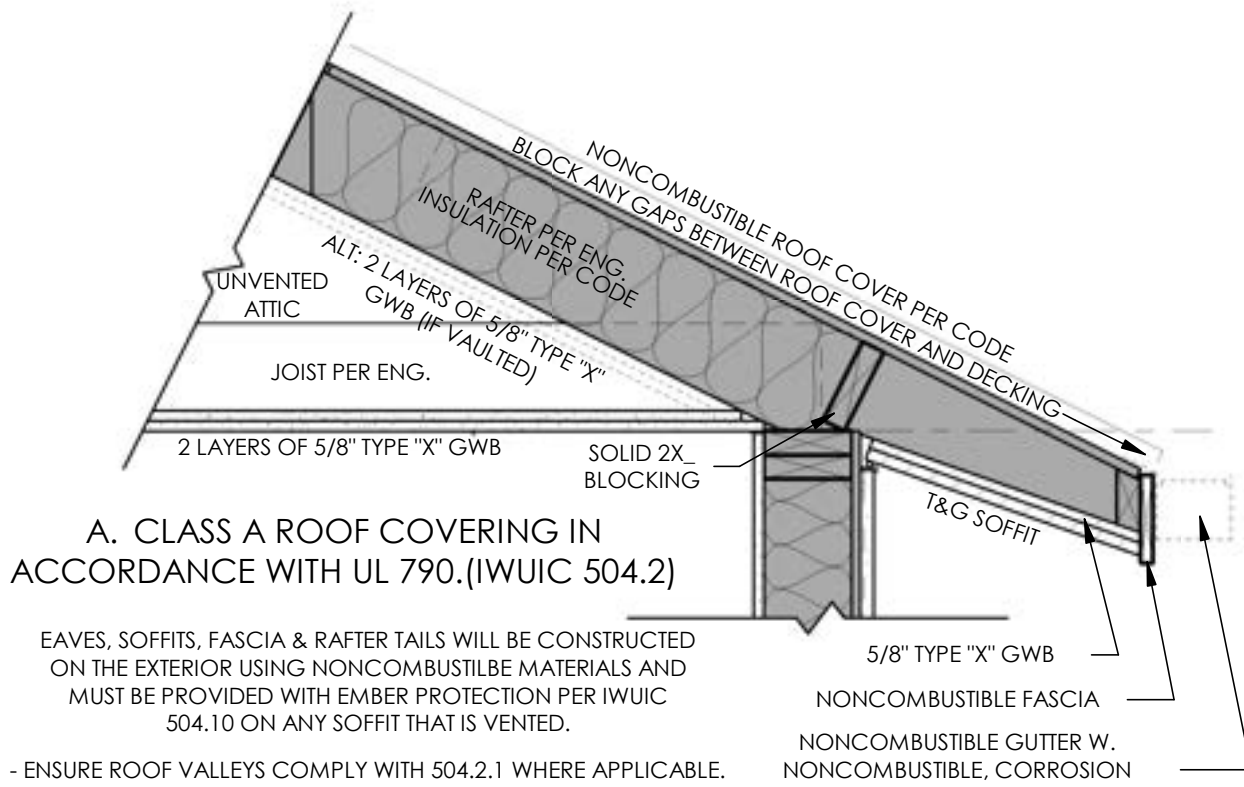
REGISTERED ARCHITECT
ROBERT S. NEWMAN
STATE OF TEXAS
12 19 3
04/18/2022

SENDERO SPEC
6809 OASIS PASS
AUSTIN, TEXAS 78732
SHEET: A1
1 of 19

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: XX
PROJECT MGR: SRK

CITY OF AUSTIN CLASS B CONSTRUCTION

THIS STRUCTURE IS LOCATED WITHIN 1.5 MILES FROM A 750 ACRE OR MORE AREA OF WILDLAND AND MUST COMPLY WITH THE FOLLOWING CONSTRUCTION REQUIREMENTS



NONCOMBUSTIBLE ROOF COVERING. A roof covering consisting of any of the following:

1. Cement shingles or sheets.
2. Exposed concrete slab roof.
3. Ferrous or copper shingles or sheets.
4. Slate shingles.
5. Clay or concrete roofing tile.
6. Approved roof covering of noncombustible material.

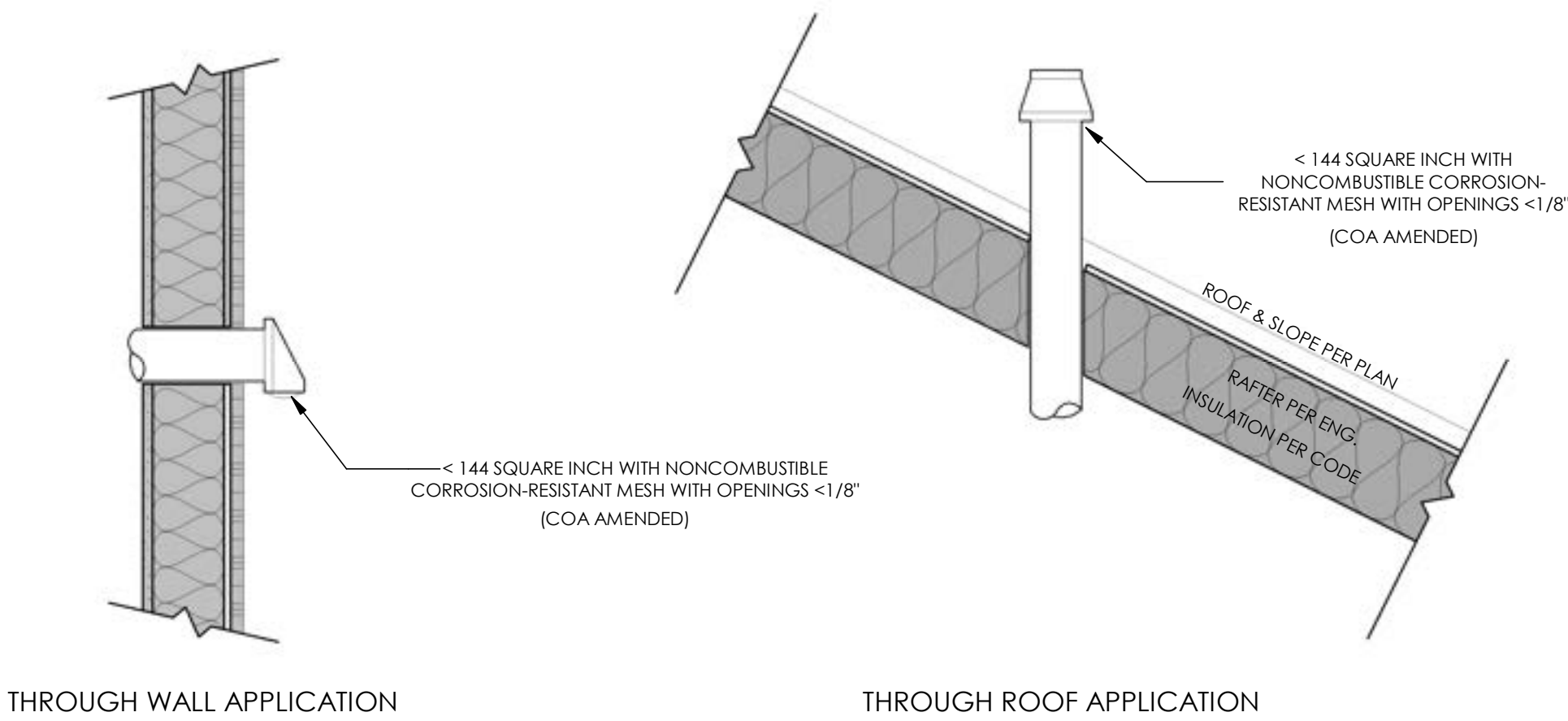
FOR ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRESTOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS, OR HAVE ONE LAYER OF 72-POUND (32.4 KG) MINERAL-SURFACED, NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING.

504.10 VENTS (COA AMENDED)

B. EACH ATTIC VENTILATION OPENING, FOUNDATION OR UNDERFLOOR VENT, OR OTHER VENTILATION OPENING IN A VERTICAL EXTERIOR WALL AND EACH VENT THROUGH A ROOF MAY NOT EXCEED 144 SQUARE INCHES (0.0929 M²) THESE VENTS MUST BE COVERED WITH NON-COMBUSTIBLE CORROSION-RESISTANT MESH WITH OPENINGS THAT ARE 1/8-INCH (3.3 MM) OR LESS OR MUST BE DESIGNED AND APPROVED TO PREVENT FLAME OR EMBER PENETRATION INTO THE STRUCTURE.

EXCEPTIONS:

1. AN OPENING THAT MUST BE CLEAR BECAUSE OF ANOTHER LAND DEVELOPMENT CODE REQUIREMENT PROVIDED THAT ANY FLAME OR EMBER THAT PENETRATES THE OPENING CANNOT REACH COMBUSTIBLE MATERIALS OR SURFACES.
2. A DRYER VENT THAT COMPLIES WITH THE APPLICABLE LAND DEVELOPMENT CODE PROVISION.



504.4 GUTTERS AND DOWNSPOUTS

C. GUTTERS & DOWNSPOUTS WILL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL AND PROVIDE A NONCOMBUSTIBLE, CORROSION RESISTANT MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN ACCORDANCE WITH IWUIC 504.4.

504.3.2 IGNITION-RESISTANT CONSTRUCTION (COA AMENDED)

A BUILDING OR STRUCTURE MORE THAN 50 FEET (15,240 MM) FROM A 40 ACRE (4.05 HA) OR GREATER CONTIGUOUS AREA THAT CONSISTS OF LIGHT, MEDIUM, OR HEAVY FUEL.

504.3.2.1 A COMBUSTIBLE EAVE, FASCIA, OR SOFFIT MUST BE ENCLOSED WITH SOLID MATERIALS THAT ARE AT LEAST 3/4-INCH (19 MM) THICK.

504.3.2.2 AN EXPOSED RAFTER TAIL MUST BE CONSTRUCTED OF HEAVY TIMBER MATERIALS.

504.7 APPENDAGES AND STRUCTURES/FENCE STRUCTURES (WITHIN 5' OF THE HOME) (COA AMENDED)

E/F. AN UNENCLOSED ACCESSORY STRUCTURE THAT IS ATTACHED TO OR LOCATED WITHIN 10 FEET (3,048 MM) OF A BUILDING WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS A DECK, MUST BE CONSTRUCTED USING AT LEAST ONE-HOUR FIRE-RESISTANCE-RATED MATERIALS, HEAVY TIMBER, OR ONE OF THE FOLLOWING:

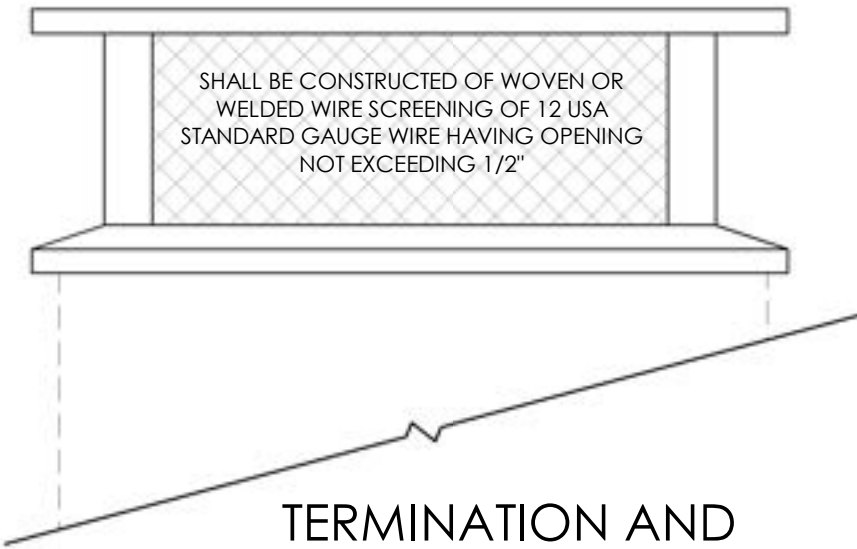
1. APPROVED NON-COMBUSTIBLE MATERIALS;
2. FIRE-RETARDANT-TREATED WOOD APPROVED FOR EXTERIOR USE THAT COMPLIES WITH BUILDING CODE SECTION 2303.2; OR
3. IGNITION-RESISTANT BUILDING MATERIALS THAT COMPLY WITH SECTION 503.2.

EXCEPTION: FENCE MATERIALS LOCATED MORE THAN 10 FEET (3,048 MM) FROM A BUILDING OR STRUCTURE.

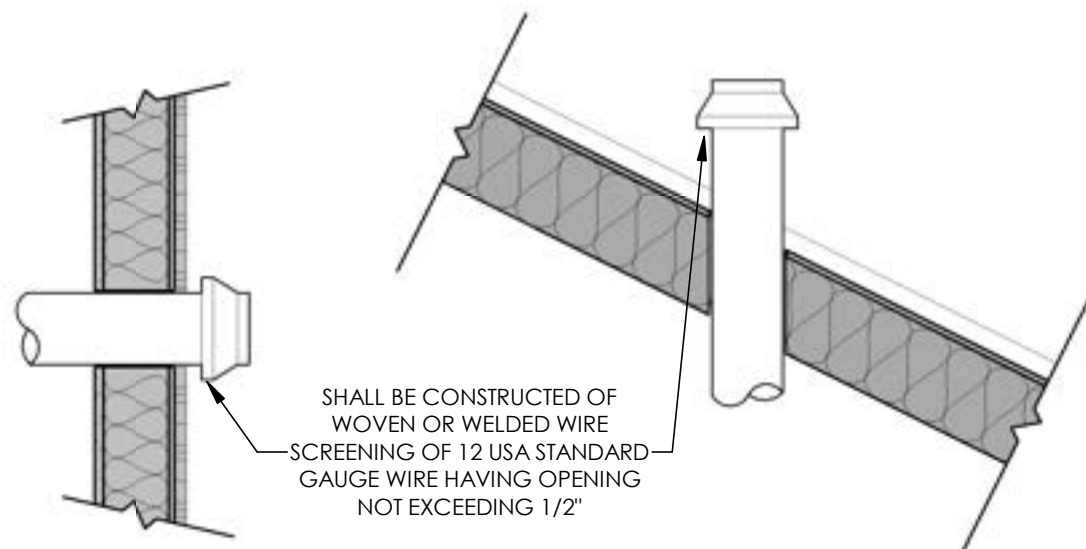
605 SPARK ARRESTERS

G. CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED, SHALL BE PROVIDED WITH A SPARK ARRESTER. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 USA STANDARD GAGE WIRE (0.1046 INCH) (2.66 MM) HAVING OPENINGS NOT EXCEEDING 1/2 INCH (12.7 MM).

605.2 NET FREE AREA. THE NET FREE AREA OF THE SPARK ARRESTER SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY.



TERMINATION AND CHIMNEY CAP



THROUGH WALL APPLICATION THROUGH ROOF APPLICATION

*FOR CHIMNEYS SERVING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES ONLY

IRC REFERENCE

TABLE R302.1(1) EXTERIOR WALLS

EXTERIOR WALL ELEMENT		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from both sides	< 5 feet
	Not fire-resistance rated	0 hours	≥ 5 feet
Projections	Not allowed	N/A	< 2 feet
	Fire-resistance rated	1 hour on the underside ^{a, b}	≥ 2 feet to < 5 feet
	Not fire-resistance rated	0 hours	≥ 5 feet
Openings in walls	Not allowed	N/A	< 3 feet
	25% maximum of wall area	0 hours	3 feet
	Unlimited	0 hours	5 feet
Penetrations	All	Comply with Section R302.4	< 3 feet
		None required	3 feet

For SI: 1 foot = 304.8 mm.
N/A = Not Applicable.

- a. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fireblocking is provided from the wall top plate to the underside of the roof sheathing.
- b. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided that gable vent openings are not installed.

TABLE R302.1(2) EXTERIOR WALLS—DWELLINGS WITH FIRE SPRINKLERS

EXTERIOR WALL ELEMENT		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E 119 or UL 263 with exposure from the outside	0 feet
	Not fire-resistance rated	0 hours	3 feet ^a
Projections	Not allowed	N/A	< 2 feet
	Fire-resistance rated	1 hour on the underside ^{b, c}	2 feet ^a
	Not fire-resistance rated	0 hours	3 feet
Openings in walls	Not allowed	N/A	< 3 feet
	Unlimited	0 hours	3 feet ^a
Penetrations	All	Comply with Section R302.4	< 3 feet
		None required	3 feet ^a

For SI: 1 foot = 304.8 mm.
N/A = Not Applicable.

- a. For residential subdivisions where all dwellings are equipped throughout with an automatic sprinkler system installed in accordance with Section P2904, the fire separation distance for nonrated exterior walls and rated projections shall be permitted to be reduced to 0 feet, and unlimited unprotected openings and penetrations shall be permitted, where the adjoining lot provides an open setback yard that is 6 feet or more in width on the opposite side of the property line.
- b. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fireblocking is provided from the wall top plate to the underside of the roof sheathing.
- c. The roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided that gable vent openings are not installed.

TABLE R302.6 DWELLING-GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

SECTION R302 FIRE-RESISTANT CONSTRUCTION


R302.1 Exterior walls.

Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings equipped throughout with an automatic sprinkler system installed in accordance with Section P2904 shall comply with Table R302.1(2).

Exceptions:

1. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the fire separation distance.
2. Walls of dwellings and accessory structures located on the same lot.
3. Detached tool sheds and storage sheds, playhouses and similar structures exempted from permits are not required to provide wall protection based on location on the lot. Projections beyond the exterior wall shall not extend over the lot line.
4. Detached garages accessory to a dwelling located within 2 feet (610 mm) of a lot line are permitted to have roof eave projections not exceeding 4 inches (102 mm).
5. Foundation vents installed in compliance with this code are permitted.

CONTRACTOR SHALL ENSURE COMPLIANCE WITH LOCAL JURISDICTION REQUIREMENTS AND ADOPTED CODES, REGULATIONS AND STANDARDS.



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REVISION:



03/09/2022

SENDERO SPEC
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET: **A1.1**
1.1 of 19

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: XX
PROJECT MGR: SRK

GENERAL PROJECT NOTES

- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512)458-1363.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE ARCHITECT IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
- PORTIONS OF THIS WORK MAY NOT HAVE BEEN DRAWN BY A REGISTERED ARCHITECT.
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS ARCHITECT.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- WHEN THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS, MATERIALS OR SYSTEMS, CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS, MATERIALS AND SYSTEMS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, SYSTEMS AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. IF CONFLICTS ARISE BETWEEN ARCHITECTURAL PLANS OR SPECIFICATIONS AND MANUFACTURER'S SPECIFICATIONS CONTRACTOR IS TO CONTACT ARCHITECT PRIOR TO PURCHASE AND/OR INSTALLATION OF MATERIALS FOR DIRECTION.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.

- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRINGS.

- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE ARCHITECT OR OWNER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

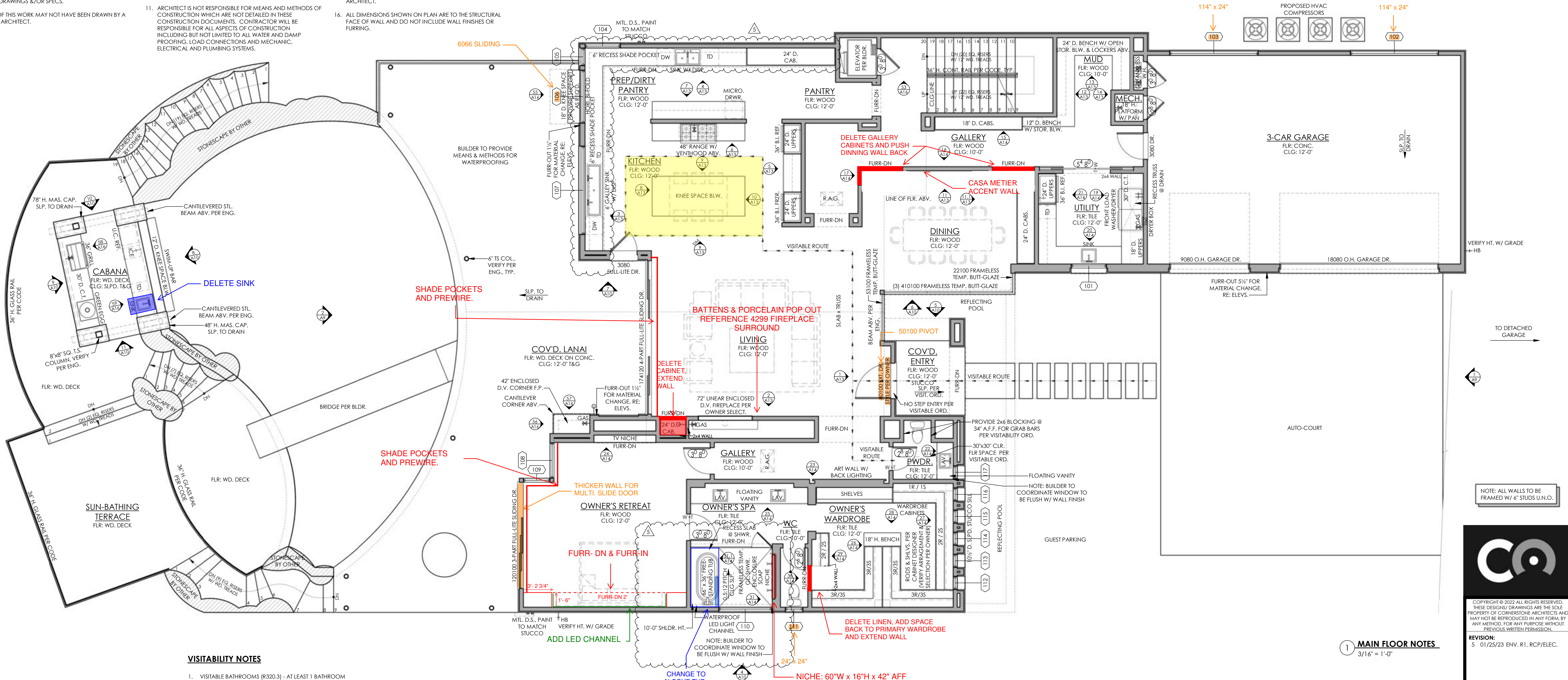
GENERAL PLAN NOTES

- THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE.
- ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
- ALL OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED WITH SOLID CORE WOOD DOORS 1 3/8" MIN THICKNESS, AND EQUIPPED WITH A SELF CLOSING DEVICE.
- ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUB/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
- IF PLATE HEIGHT IS 9'-0" OR HIGHER, ALL DOORS AND CASED OPENINGS TO BE 8'-0" HT. UNLESS NOTED OTHERWISE. IF PLATE HEIGHT IS LESS THAN 9'-0", ALL DOORS AND CASED OPENINGS TO BE 6'-8" HT. UNLESS NOTED OTHERWISE. EXCEPTION... IF A 7'-0" HT. DOOR IS USED ADJUST WINDOWS TO 7'-0" HEADER HT.
- PROVIDE WEATHERSEAL AND DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
- THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
- ALL BEARING WALLS OVER 9'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 9'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
- PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.

- CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
- WEATHERSTRIP ATTIC ACCESS DOOR(S).
- IN VENTED ROOF ASSEMBLIES PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
- ALL PLUMBING, APPLIANCE AND GAS VENTS TO RUN TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
- BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
- THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE STANDARD PANTRY SHELVING TO BE AS FOLLOWS:
 - LOWEST 2 SHELVES TO BE 16" D. WITH HEIGHT SPACING OF 14" CLEAR.
 - REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- ALL FIREPLACES TO HAVE 20" DEEP HEARTH & 12" NON-COMBUSTIBLE SURROUND.

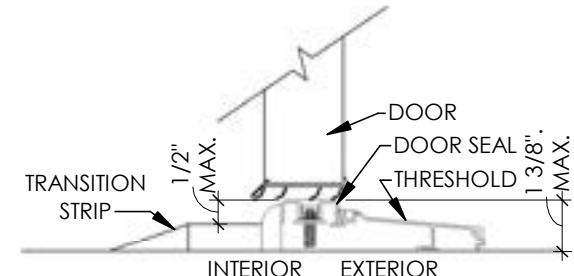
LEGEND

⌵ GAS BIBB ⌵ GAS KEY ⌵ SHOWER HEAD ⌵ HOSE BIBB



VISITABILITY NOTES

- VISITABLE BATHROOMS (R320.3) - AT LEAST 1 BATHROOM GROUP MUST CONTAIN THE FOLLOWING:
 - MINIMUM NET CLEAR OPENING OF 30"
 - 30"x30" CLEAR FLOOR AREA IN BATHROOM
 - LATERAL 2x6 BLOCKING, CENTERLINE 34" FROM FINISHED FLOOR, EXCEPT FOR THE PORTION BEHIND THE LAVATORY.
- VISITABLE LIGHT SWITCHES, RECEPTACLES AND ENVIRONMENTAL CONTROLS (R320.4) - THE FIRST FLOOR OF A DWELLING MUST CONTAIN THE FOLLOWING:
 - ALL LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS SHALL NOT BE INSTALLED GREATER THAN 48" ABOVE THE FINISHED FLOOR
 - ALL OUTLETS AND RECEPTACLES SHALL BE INSTALLED NO LESS THAN 15" ABOVE FLOOR.
- VISITABLE BATHROOM ROUTE (R320.5) - ALL BATHROOMS DESIGNATED FOR VISITABILITY ON THE FIRST FLOOR WILL BE ACCESSIBLE BY A ROUTE WITH A MINIMUM CLEAR PATHWAY OF 32" BEGINNING AT THE VISIBLE ENTRANCE AND CONTINUING THRU THE LIVING ROOM, DINING ROOM AND KITCHEN.
- VISITABLE DWELLING ENTRANCE (R320.6) - A DWELLING MUST BE ACCESSIBLE BY AT LEAST ONE "NO-STEP ENTRANCE" AND THE DOOR SHALL HAVE A NET CLEAR OPENING OF 32"



THRESHOLD DETAIL:
THIS DETAIL TO BE USED IF FOUNDATION DESIGN CALLS FOR MORE THAN 1 1/2" DROP AT VISIBLE ENTRANCE. RE: CODE INTERPRETATION C12013-002 FOR ADDITIONAL INFORMATION.

* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

MAIN FLOOR WINDOW SCHEDULE

	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS	COMMENTS
101	4'-0"	6'-4"	FG		10'-0"			
102	10'-0"	2'-0"	FG		10'-0"			
103	10'-0"	2'-0"	FG		10'-0"			
104	4'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
105	2'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
106	6'-0"	3'-6"	HFB		10'-0"			HORIZONTAL BI-FOLD
107	10'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
108	4'-0"	10'-0"	FG		10'-0"	TEMP		
109	3'-0"	10'-0"	FG		10'-0"	TEMP		
110	6'-0"	2'-0"	FG		10'-0"			MTL.
111	2'-0"	6'-0"	FG		10'-0"			
112	1'-6"	3'-6"	FG		11'-6"			
113	1'-6"	3'-6"	FG		11'-6"			
114	1'-6"	3'-6"	FG		11'-6"			
115	1'-6"	3'-6"	FG		11'-6"			
116	1'-6"	3'-6"	FG		11'-6"			
117	1'-6"	3'-6"	FG		11'-6"			

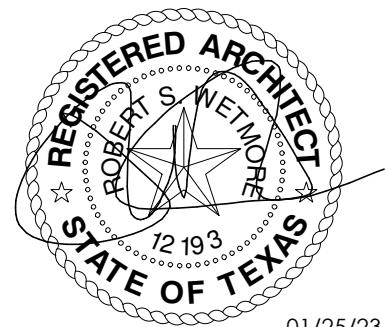
SQUARE FOOTAGE CALCULATIONS

AREA NAME	AREA
ADU HEATED	777.21 SF
LOWER FLOOR HEATED	2,115.96 SF
MAIN FLOOR HEATED	3,220.18 SF
UPPER FLOOR HEATED	1,507.63 SF
HEATED	7,620.98 SF
3-CAR GARAGE	928.40 SF
ADU COVD. PORCH	155.83 SF
CABANA	146.06 SF
COVD ENTRY	72.07 SF
COVD LANAI	1,167.33 SF
CRAWL SPACE	153.49 SF
DETACHED GARAGE	784.30 SF
MASONRY	190.71 SF
UPPER LANAI	617.29 SF
UNHEATED	4,215.48 SF
TOTAL COVERED AREA	11,836.46 SF
DECK	1,246.68 SF
GREEN ROOF	577.46 SF
TOTAL UNCOVERED AREA	1,824.14 SF



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5 01/25/23 ENV. R1, RCP/ELEC.



01/25/23

SENDERO SPEC
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET:
A2
2 of 21

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: PC
PROJECT MGR: SRK

GENERAL PROJECT NOTES

- THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
- ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
- BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
- ARCHITECTS ARE GOVERNED BY THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, (512)458-1363.
- WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE ARCHITECT IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
- PORTIONS OF THIS WORK MAY NOT HAVE BEEN DRAWN BY A REGISTERED ARCHITECT.
- THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS ARCHITECT.
- THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
- WHEN THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS, MATERIALS OR SYSTEMS, CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS, MATERIALS AND SYSTEMS SELECTED WHEN INSTALLED.
- ALL COMPONENTS, MATERIALS, SYSTEMS AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES. IF CONFLICTS ARISE BETWEEN ARCHITECTURAL PLANS OR SPECIFICATIONS AND MANUFACTURER'S SPECIFICATIONS CONTRACTOR IS TO CONTACT ARCHITECT PRIOR TO PURCHASE AND OR INSTALLATION OF MATERIALS FOR DIRECTION.
- ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.

- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRINGS.

- THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
- IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE ARCHITECT OR OWNER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

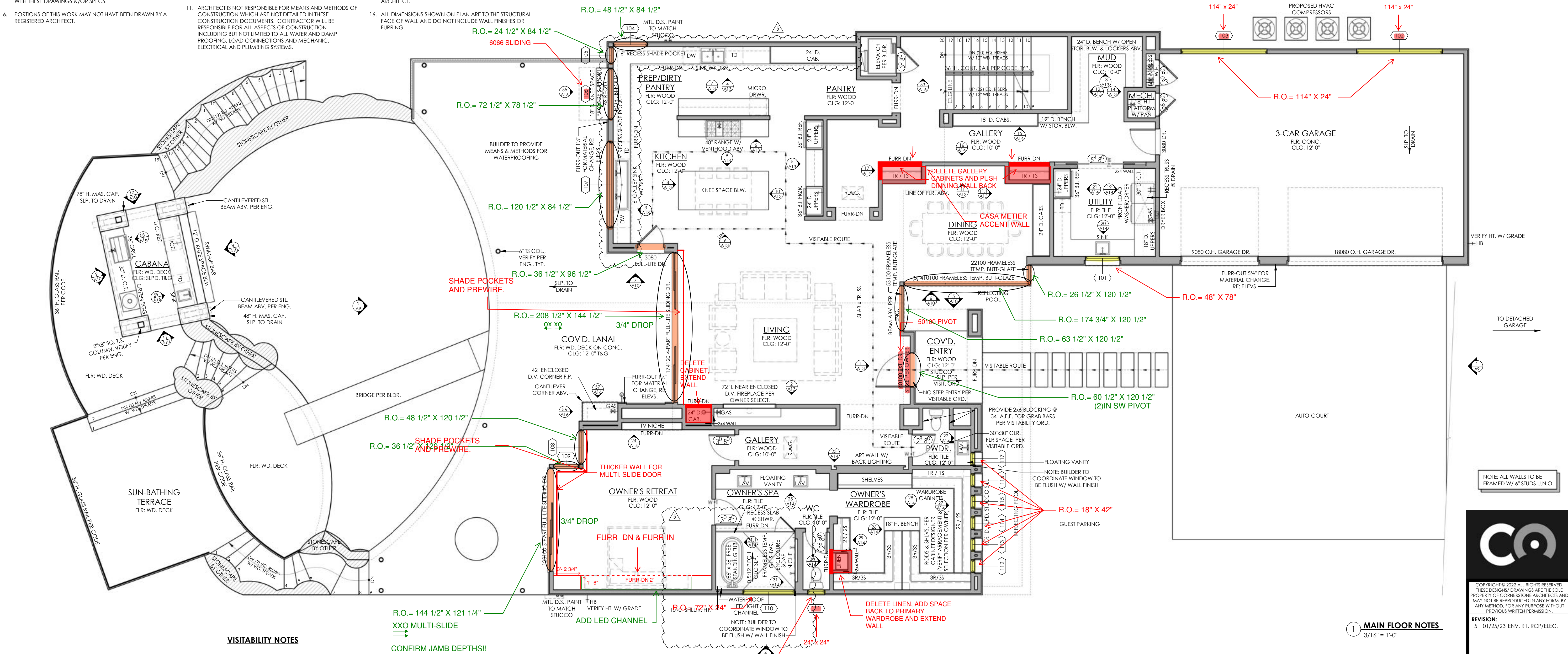
GENERAL PLAN NOTES

- THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE.
- ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
- WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
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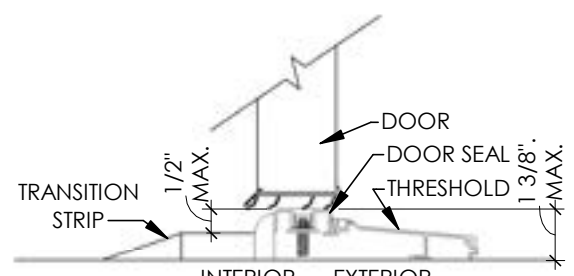
LEGEND

⌵ GAS BIBB ⌵ GAS KEY ⌵ SHOWER HEAD ⌵ HOSE BIBB



VISITABILITY NOTES

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1 MAIN FLOOR NOTES
3/16" = 1'-0"

SQUARE FOOTAGE CALCULATIONS

AREA NAME	AREA
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UPPER FLOOR HEATED	1,507.63 SF
HEATED	7,620.98 SF
3-CAR GARAGE	928.40 SF
ADU COVD. PORCH	155.83 SF
CABANA	146.06 SF
COVD ENTRY	72.07 SF
COVD LANAI	1,167.33 SF
CRAWL SPACE	153.49 SF
DETACHED GARAGE	784.30 SF
MASONRY	190.71 SF
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UNHEATED	4,215.48 SF
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GREEN ROOF	577.46 SF
TOTAL UNCOVERED AREA	1,824.14 SF

* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

MAIN FLOOR WINDOW SCHEDULE

	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS	COMMENTS
101	4'-0"	6'-4"	FG		10'-0"			
102	10'-0"	2'-0"	FG		10'-0"			
103	10'-0"	2'-0"	FG		10'-0"			
104	4'-0"	7'-0"	FG		10'-0"			Bldr. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
105	2'-0"	7'-0"	FG		10'-0"			Bldr. TO COORDINATE WINDOW TO BE FLUSH W/ C.T.
106	6'-0"	3'-4"	HFB		10'-0"			HORIZONTAL BI-FOLD
107	10'-0"	7'-0"	FG		10'-0"			
108	4'-0"	10'-0"	FG		10'-0"	TEMP		
109	3'-0"	10'-0"	FG		10'-0"	TEMP		
110	6'-0"	2'-0"	FG		10'-0"			MTL.
111	2'-0"	4'-0"	FG		10'-0"			
112	1'-6"	3'-6"	FG		11'-6"			
113	1'-6"	3'-6"	FG		11'-6"			
114	1'-6"	3'-6"	FG		11'-6"			
115	1'-6"	3'-6"	FG		11'-6"			
116	1'-6"	3'-6"	FG		11'-6"			
117	1'-6"	3'-6"	FG		11'-6"			

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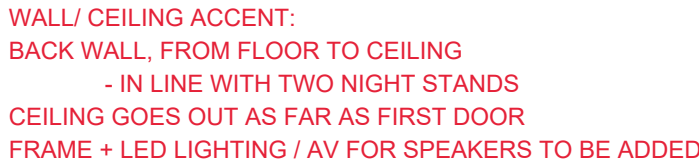
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PROJECT & DESIGN
STATE OF TEXAS

01/25/23

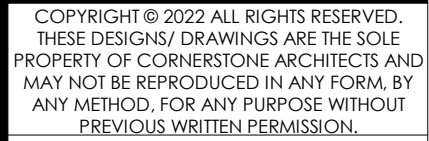
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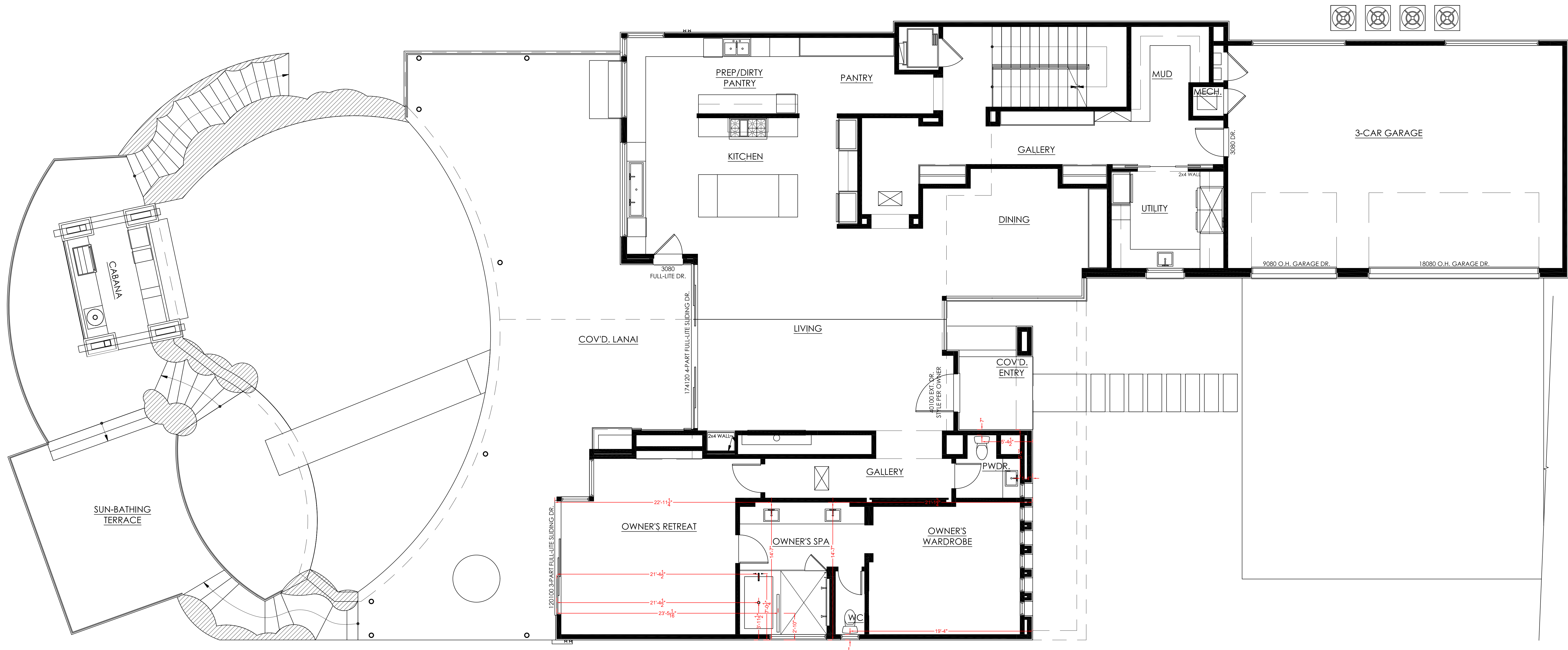
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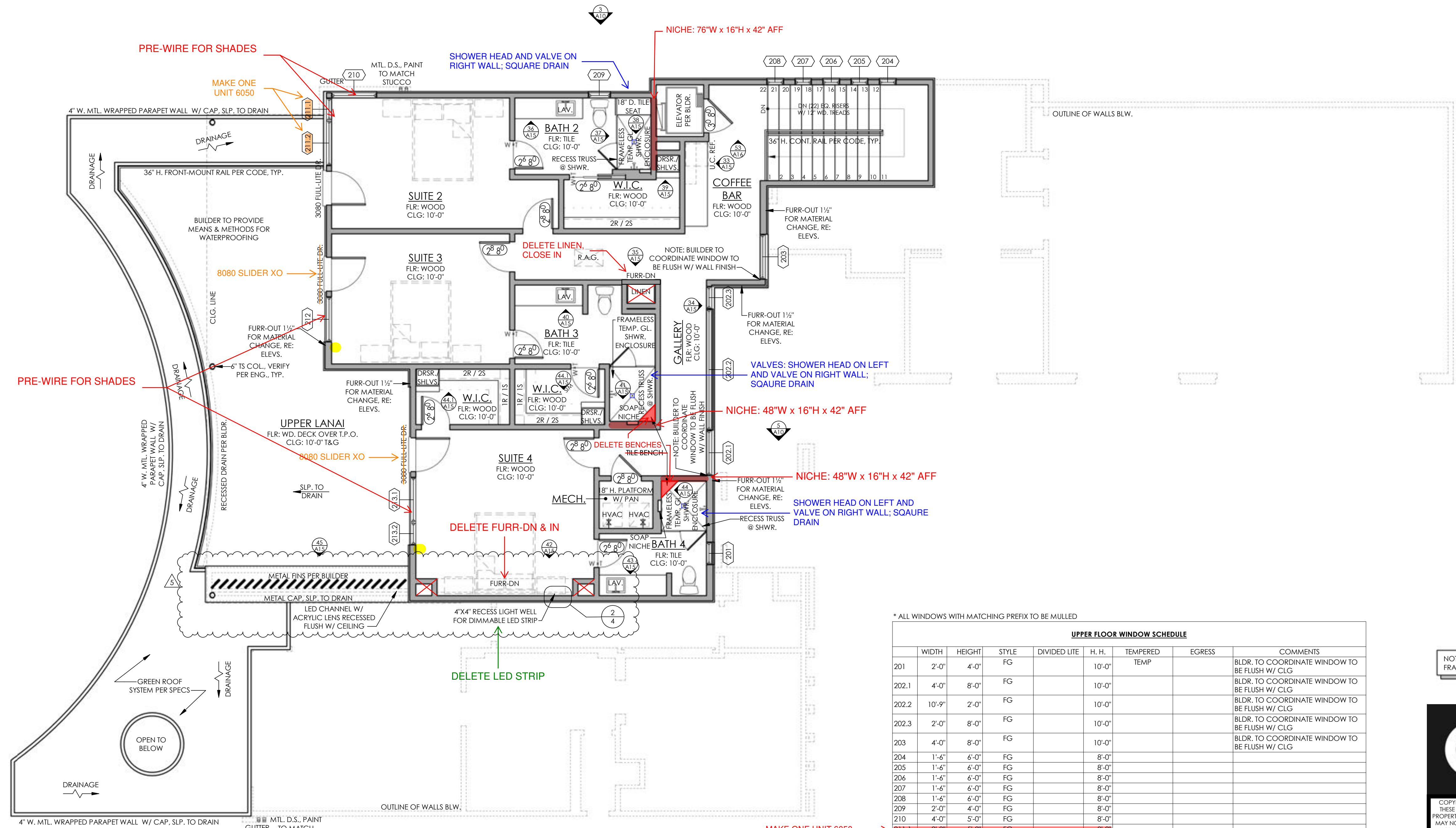


NOTE: ALL WALLS TO BE
FRAMED W/ 6" STUDS U.N.O.



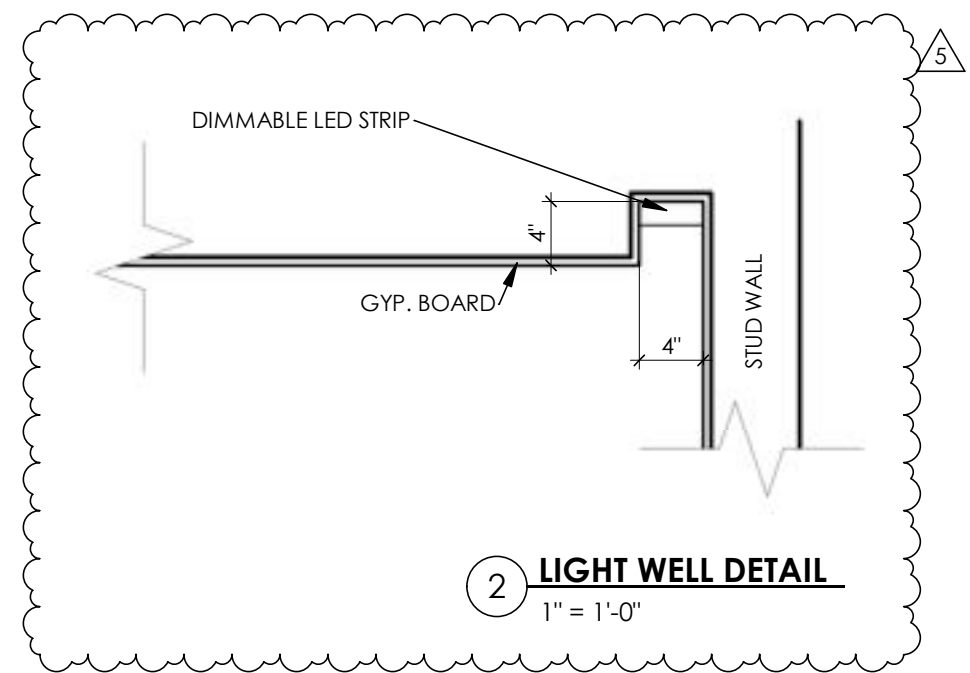
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CHECKED BY: XX
PROJECT MGR: SRK





1 UPPER FLOOR NOTES
3/16" = 1'-0"

UPPER FLOOR WINDOW SCHEDULE							
	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS
201	2'-0"	4'-0"	FG		10'-0"	TEMP	
202.1	4'-0"	8'-0"	FG		10'-0"		
202.2	10'-9"	2'-0"	FG		10'-0"		
202.3	2'-0"	8'-0"	FG		10'-0"		
203	4'-0"	8'-0"	FG		10'-0"		
204	1'-6"	6'-0"	FG		8'-0"		
205	1'-6"	6'-0"	FG		8'-0"		
206	1'-6"	6'-0"	FG		8'-0"		
207	1'-6"	6'-0"	FG		8'-0"		
208	1'-6"	6'-0"	FG		8'-0"		
209	2'-0"	4'-0"	FG		8'-0"		
210	4'-0"	5'-0"	FG		8'-0"		
211.1	2'-0"	8'-0"	FG		8'-0"		
211.2	4'-0"	5'-0"	FG		8'-0"	TEMP	
212	4'-0"	8'-0"	FG		8'-0"	TEMP	
213.1	4'-0"	8'-0"	FG		8'-0"	TEMP	
213.2	2'-0"	8'-0"	FG		8'-0"	TEMP	



NOTE: ALL WALLS TO BE
FRAMED W/ 6" STUDS U.N.O.



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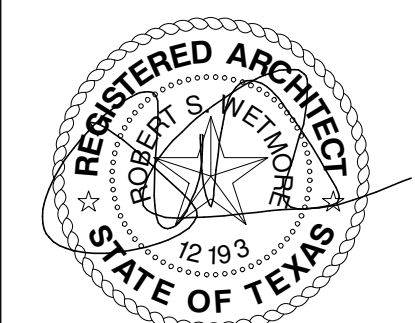


SENDERO SPEC.
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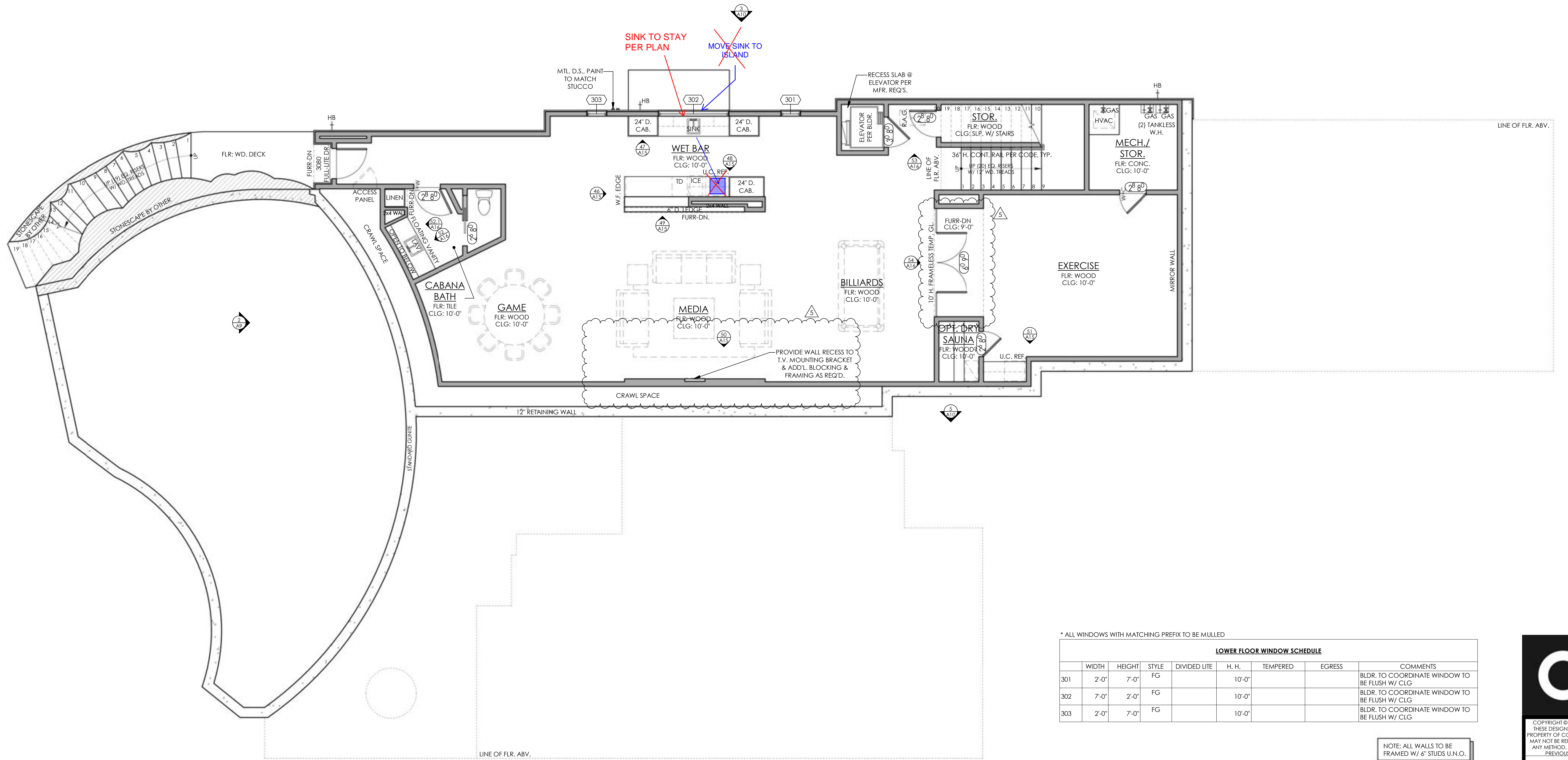
SENDERO SPEC
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET: A4
4 of 21

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: PC
PROJECT MGR: SRK

21101

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DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: PC
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* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

LOWER FLOOR WINDOW SCHEDULE								COMMENTS
	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS	
301	2'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
302	7'-0"	2'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
303	2'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG

NOTE: ALL WALLS TO BE FRAMED W/ 6" STUDS U.N.O.

2 LOWER FLOOR NOTES
3/16" = 1'-0"

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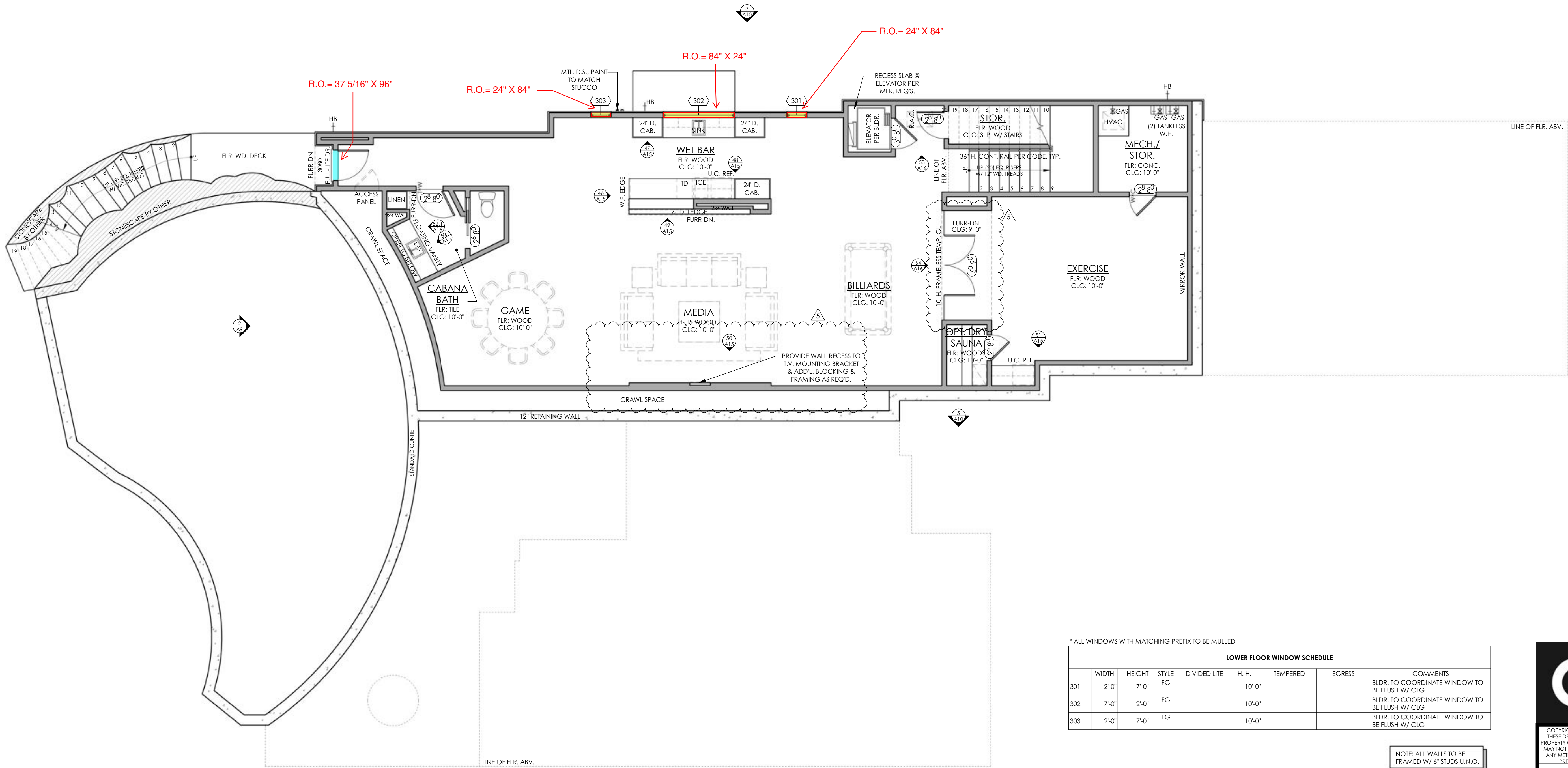
REVISION:
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01/25/23

SENDERO SPEC.
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET:
A6
6 of 21

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: PC
PROJECT MGR: SRK



* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

LOWER FLOOR WINDOW SCHEDULE								COMMENTS
	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS	
301	2'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
302	7'-0"	2'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG
303	2'-0"	7'-0"	FG		10'-0"			BLDR. TO COORDINATE WINDOW TO BE FLUSH W/ CLG

NOTE: ALL WALLS TO BE FRAMED W/ 6" STUDS U.N.O.

2 LOWER FLOOR NOTES
3/16" = 1'-0"

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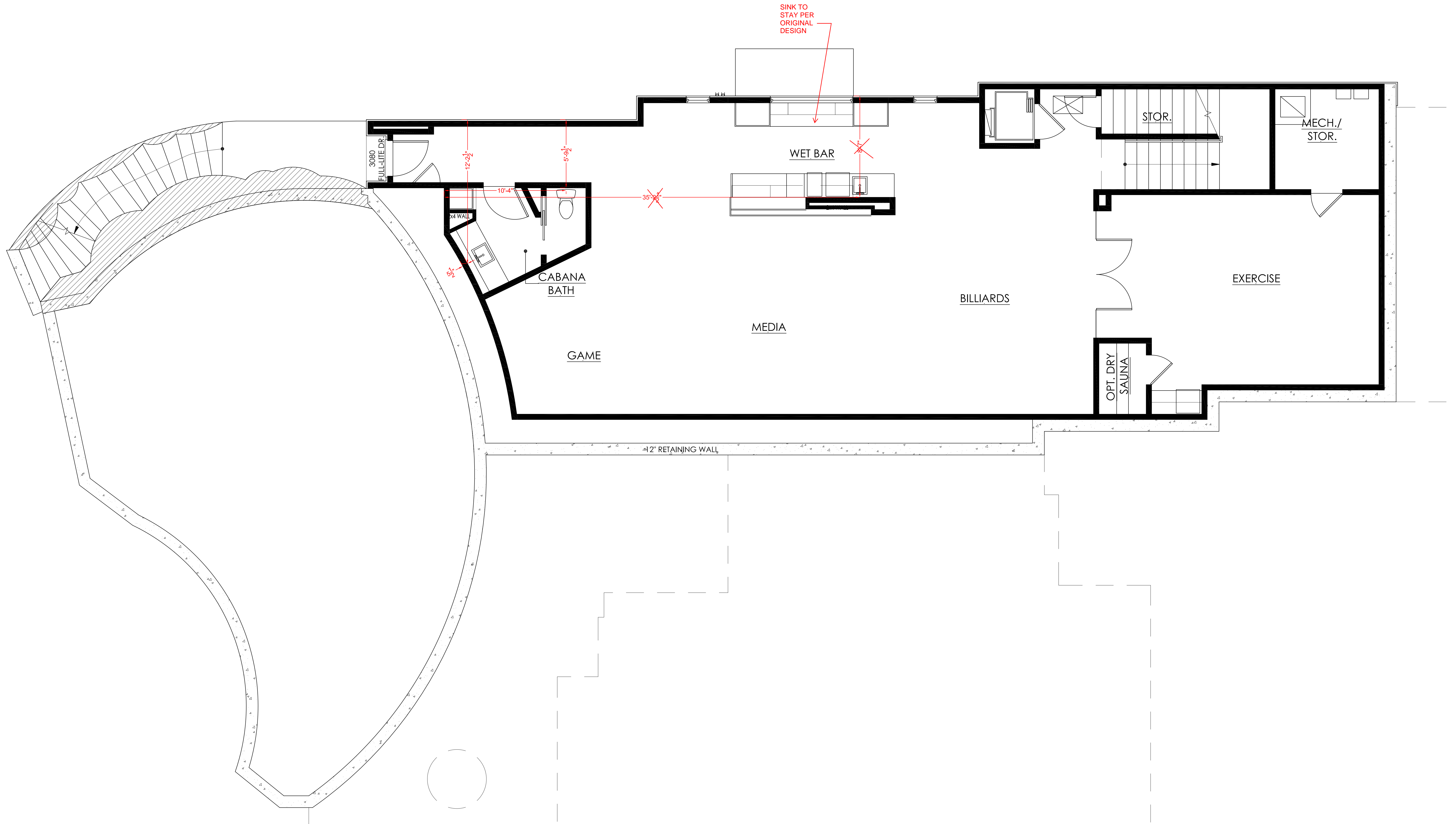
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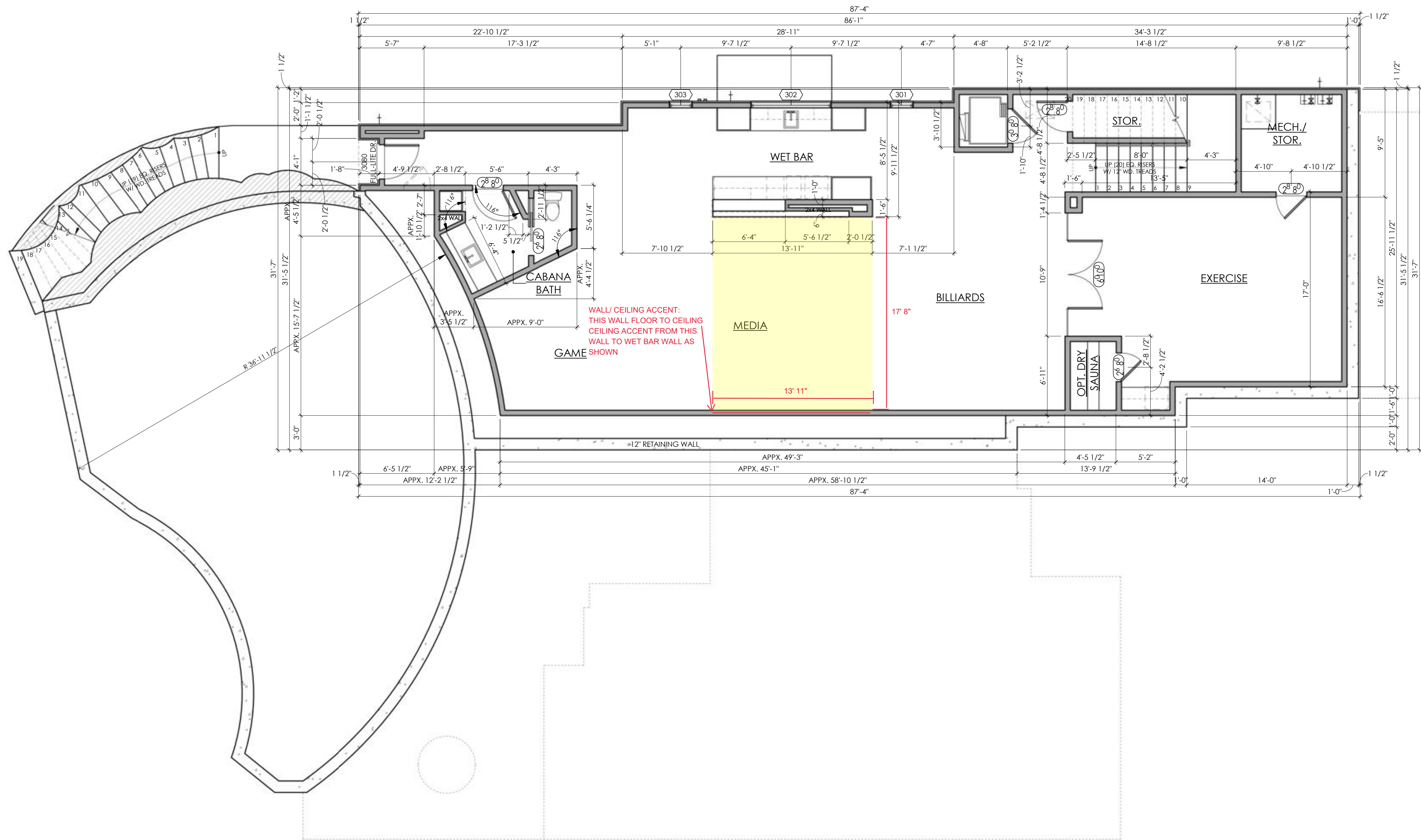
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SENDERO SPEC.
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET:
A6
6 of 21

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: PC
PROJECT MGR: SRK



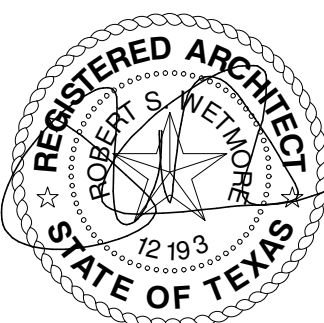


NOTE: ALL WALLS TO BE
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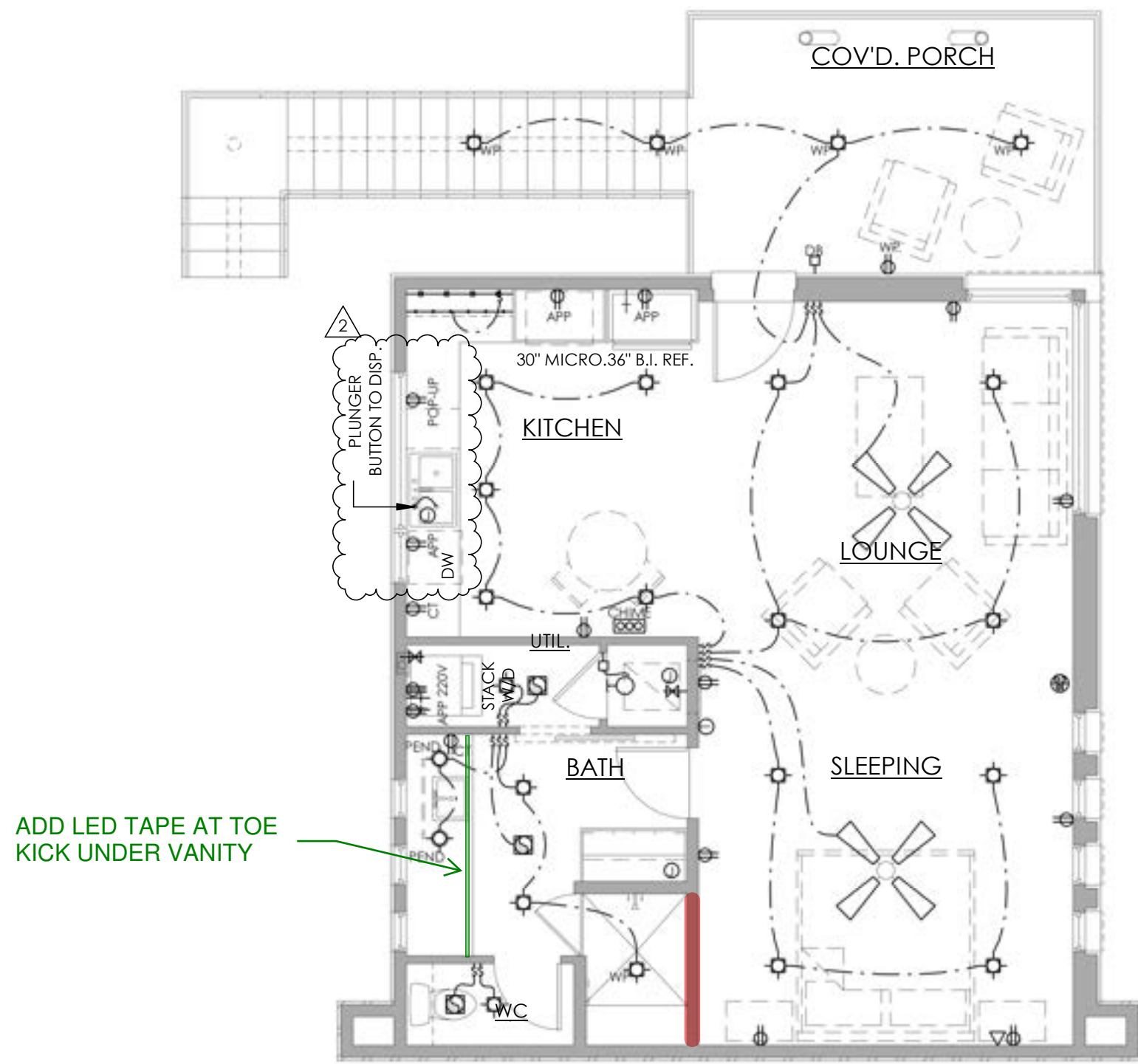
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A7

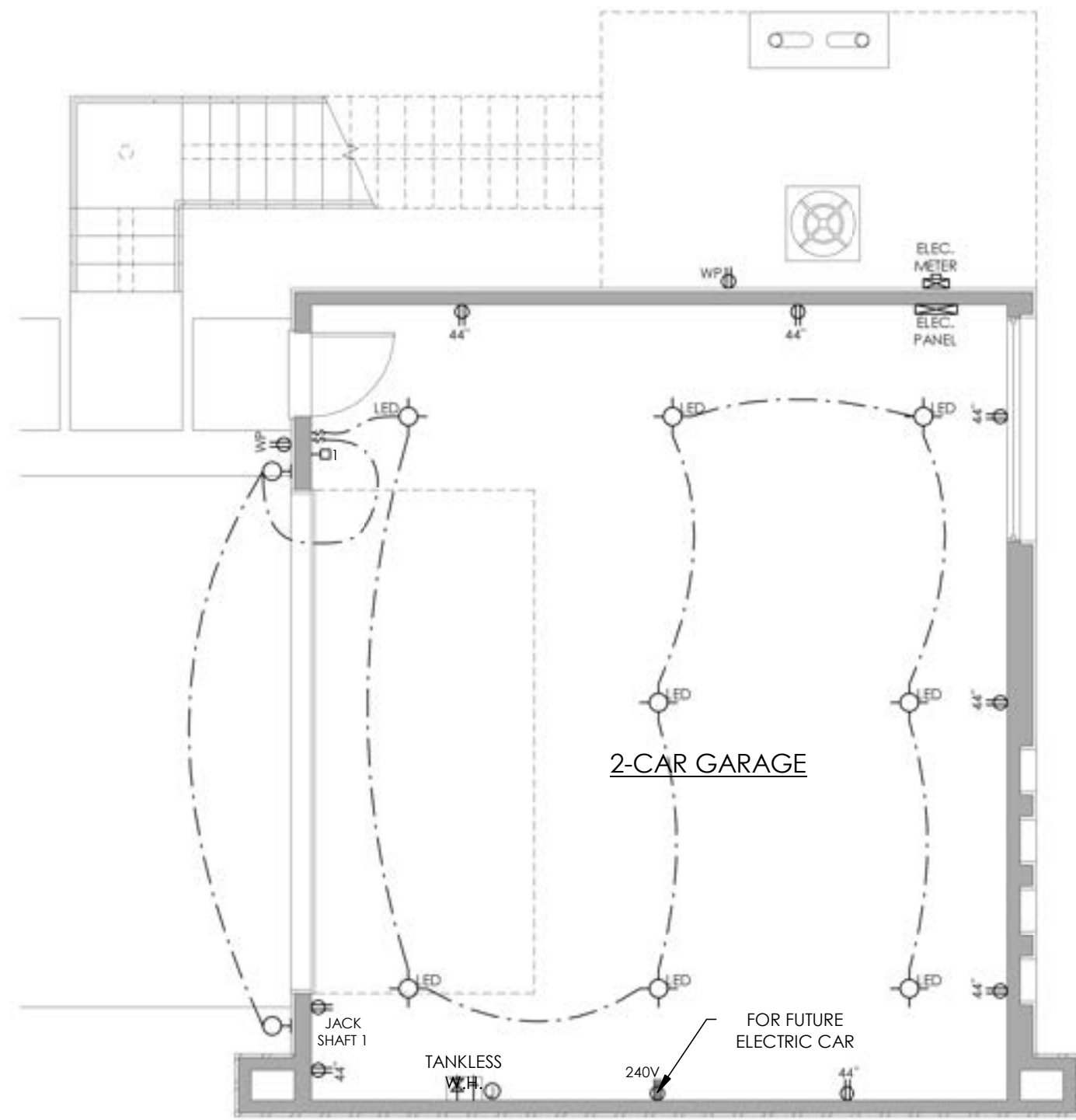
7 of 19

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
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PROJECT MGR: SRK

1 LOWER FLOOR DIMENSIONS
3/16" = 1'-0"

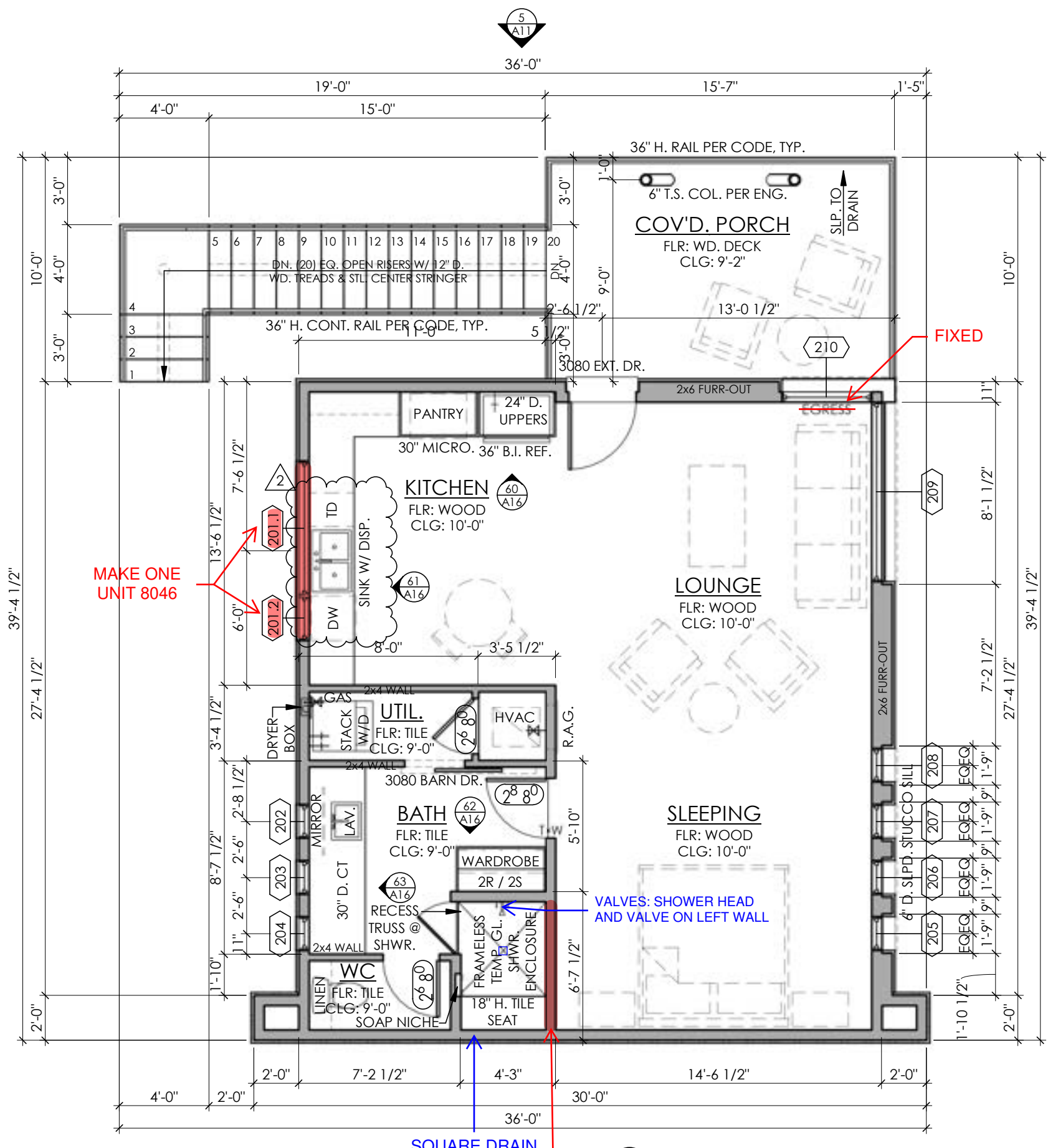


4 UPPER FLOOR NOTES
3/16" = 1'-0"

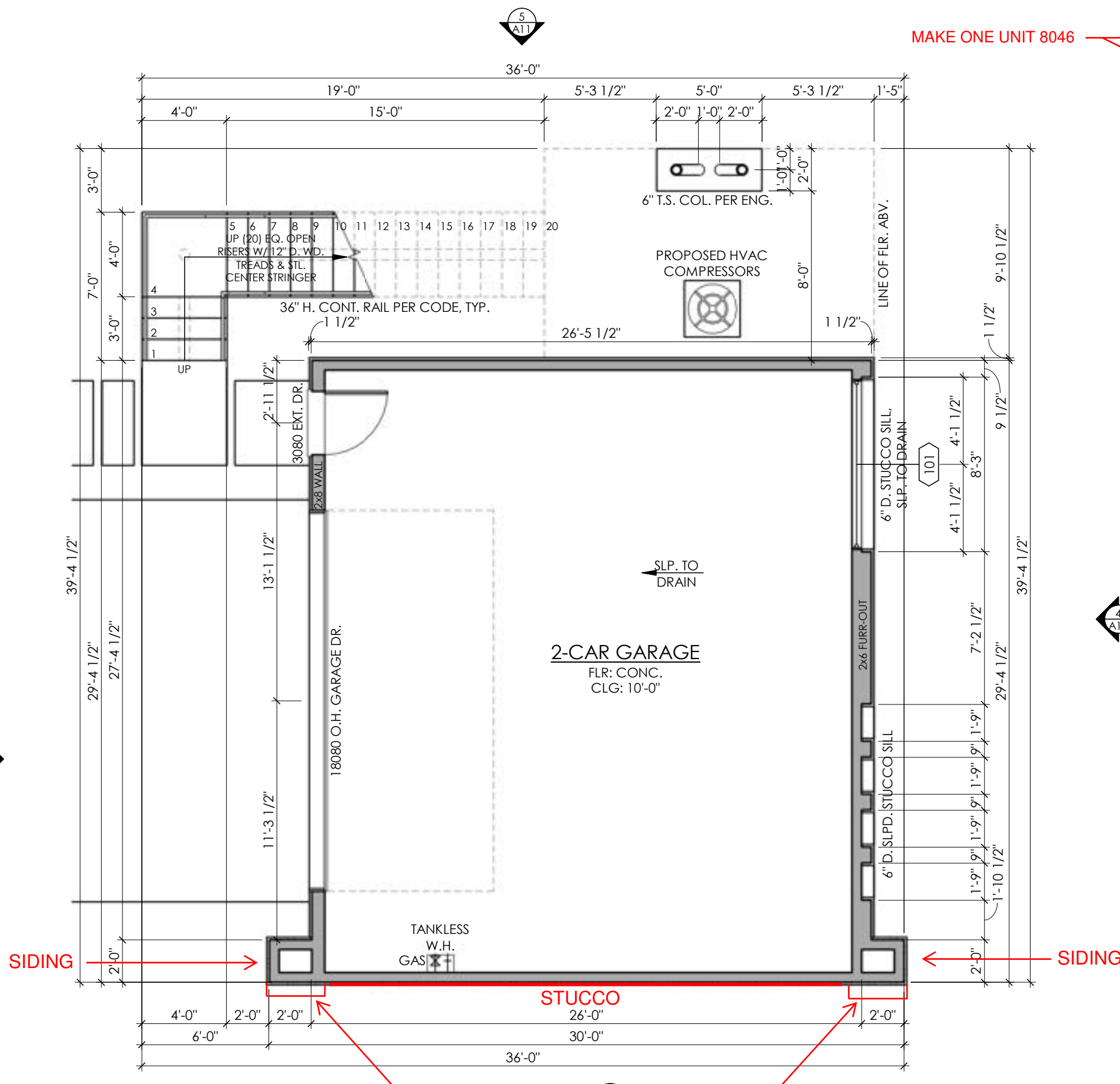


3 MAIN FLOOR NOTES
3/16" = 1'-0"

ELECTRICAL LEGEND		
SWITCH : SUBSCRIPT D - DIMMER WP - WATERPROOF M - MOTION	UTILITY LIGHT	DATA CONNECTION
PUSH BUTTON	LIGHT - CEILING MOUNT	PHONE
THERMOSTAT	LIGHT - WALL MOUNT	TELEVISION
JUNCTION BOX	LIGHT - RECESSED CAN 4" U.N.O. SUBSCRIPT: D - DIRECTIONAL WP - WATERPROOF	COMBINATION SMOKE / CARBON MONOXIDE
DUPLEX OUTLET : SUBSCRIPT CT - ABOVE COUNTER WP - WATERPROOF BLW - BELOW COUNTER USB	LIGHT - PENDANT	HEAT DETECTOR
SWITCH TOP PLUG-ONLY	LIGHT - LOW VOLTAGE UPLIGHT	DOORBELL CHIMES
FLOOR OUTLET	LIGHT DIRECTIONAL	SPEAKER
CEILING OUTLET	MULTI SOURCE RECESSED	ELECTRICAL PANEL
DOUBLE GANG	LIGHT - FLOOD	ELECTRICAL METER
220V	LIGHT - RECESSED IN RISER / WALL	CEILING FAN (WITHOUT LIGHT)
PLUG MOLD	EXHAUST / VENT	CEILING FAN W/ LIGHT KIT
LIGHT - TRACK	HEAT LAMP	
	VENT / LIGHT COMBO	
	LED STRIP LIGHT	



2 UPPER FLOOR NOTES
3/16" = 1'-0"



1 MAIN FLOOR NOTES
3/16" = 1'-0"

GARAGE MAIN FLOOR WINDOW SCHEDULE							
	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS
101	8'-0"	2'-0"	FG		8'-0"		GARAGE

* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

GARAGE UPPER FLOOR WINDOW SCHEDULE							
	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS
201.1	6'-0"	5'-0"	FG		8'-0"		GARAGE
201.2	2'-0"	5'-0"	FG		8'-0"		GARAGE
202	1'-6"	4'-0"	FG		8'-0"		GARAGE
203	1'-6"	4'-0"	FG		8'-0"		GARAGE
204	1'-6"	4'-0"	FG		8'-0"		GARAGE
205	1'-6"	5'-0"	FG		8'-0"		GARAGE
206	1'-6"	5'-0"	FG		8'-0"		GARAGE
207	1'-6"	5'-0"	FG		8'-0"		GARAGE
208	1'-6"	5'-0"	FG		8'-0"		GARAGE
209	8'-0"	5'-0"	FG		8'-0"		GARAGE
210	4'-0"	5'-0"	CS		8'-0"		EGRESS

GARAGE SQUARE FOOTAGE
CALCULATIONS

AREA NAME	AREA
UPPER HEATED	784.30 SF
HEATED	784.30 SF
COVD PORCH	155.83 SF
GARAGE	784.30 SF
MAS.	18.41 SF
UNHEATED	958.84 SF
TOTAL COVERED AREA	1,742.84 SF

NOTE: ALL WALLS TO BE
FRAMED W/ 6" STUDS U.N.O.

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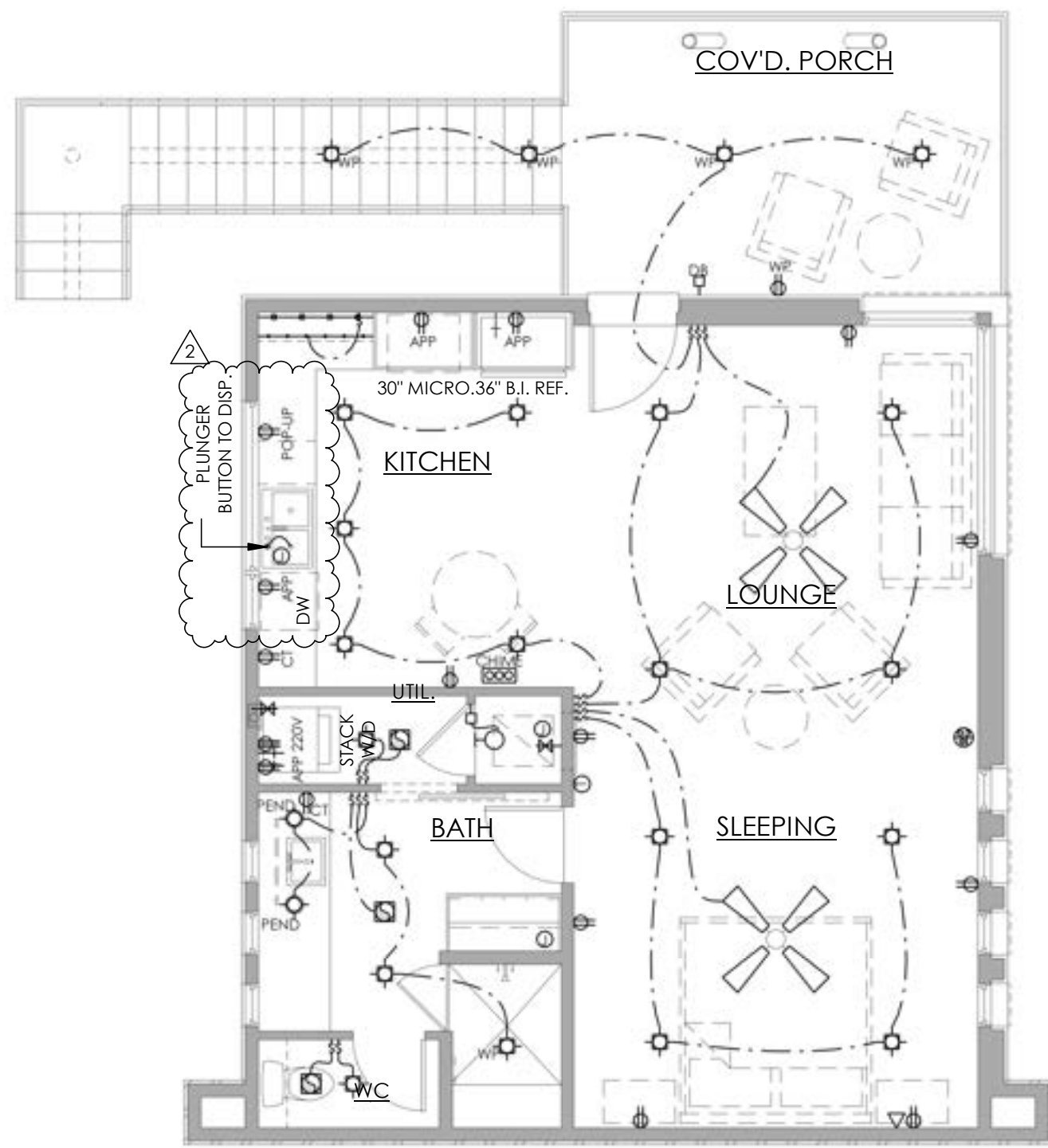
REVISION:
2 04/18/22 REV 2

REGISTERED ARCHITECT
PROJECT S. METZGER
STATE OF TEXAS
12 19 3
04/18/2022

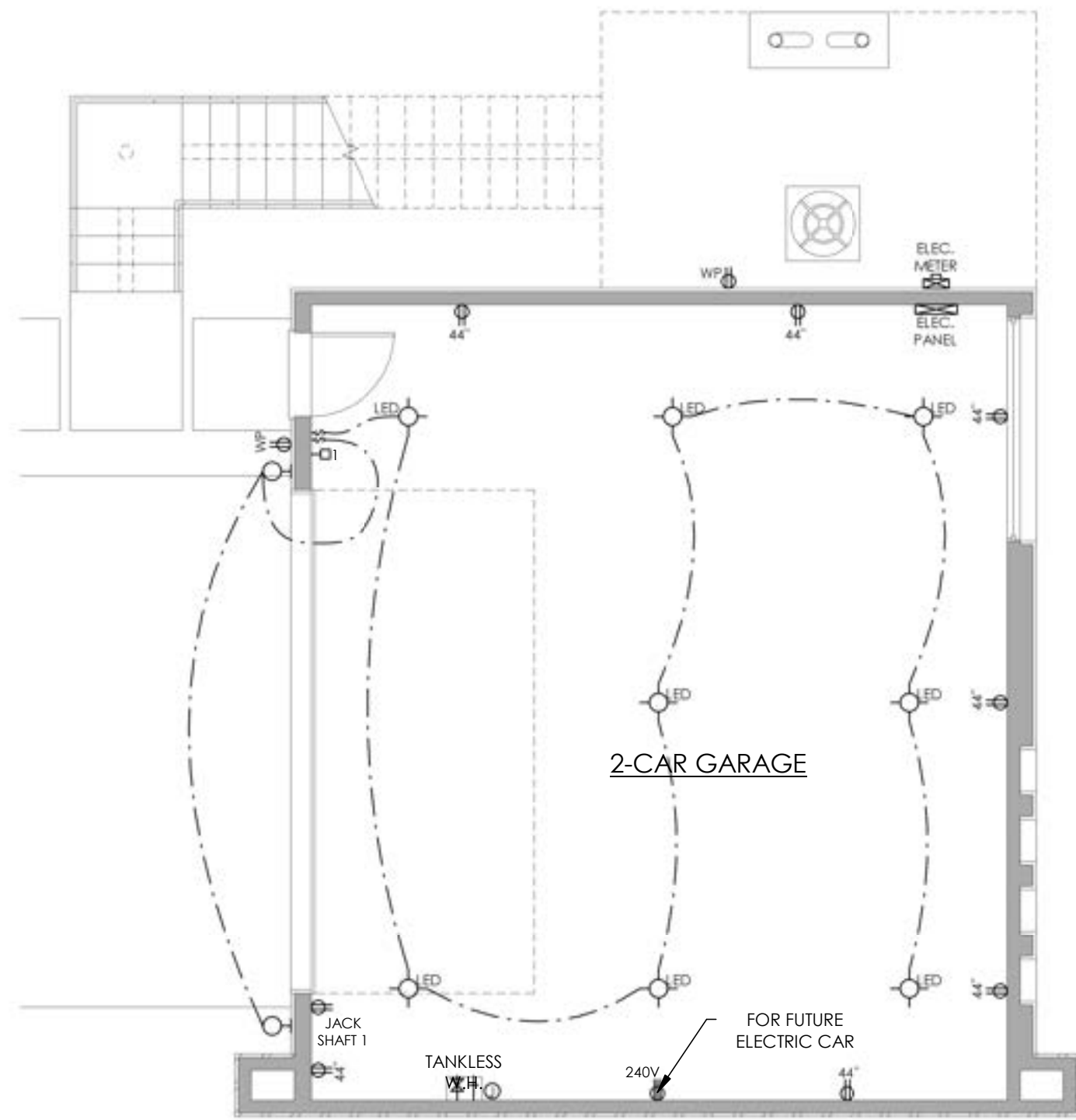
SENDER SPEC
6809 OASIS PASS
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SHEET:
A8
8 of 19

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
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4 UPPER FLOOR NOTES
3/16" = 1'-0"



3 MAIN FLOOR NOTES
3/16" = 1'-0"

ELECTRICAL LEGEND

SWITCH : SUBSCRIPT D - DIMMER WP - WATERPROOF M - MOTION	UTILITY LIGHT	DATA CONNECTION
PUSH BUTTON	LIGHT - CEILING MOUNT	PHONE
THERMOSTAT	LIGHT - WALL MOUNT	TELEVISION
JUNCTION BOX	LIGHT - RECESSED CAN 4" U.N.O. SUBSCRIPT: D - DIRECTIONAL WP - WATERPROOF	COMBINATION SMOKE / CARBON MONOXIDE
DUPLEX OUTLET : SUBSCRIPT CT - ABOVE COUNTER WP - WATERPROOF BLW - BELOW COUNTER USB	LIGHT - PENDANT	HEAT DETECTOR
SWITCH TOP PLUG-ONLY	LIGHT - LOW VOLTAGE UPLIGHT	DOORBELL CHIMES
FLOOR OUTLET	LIGHT DIRECTIONAL	SPEAKER
CEILING OUTLET	MULTI SOURCE RECESSED	ELECTRICAL PANEL
DOUBLE GANG	LIGHT - FLOOD	ELECTRICAL METER
220V	LIGHT - RECESSED IN RISER / WALL	CEILING FAN (WITHOUT LIGHT)
PLUG MOLD	EXHAUST / VENT	CEILING FAN W/ LIGHT KIT
LIGHT - TRACK	HEAT LAMP	
	VENT / LIGHT COMBO	
	LED STRIP LIGHT	

GARAGE MAIN FLOOR WINDOW SCHEDULE

	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS	COMMENTS
101	8'-0"	2'-0"	FG		8'-0"			GARAGE

* ALL WINDOWS WITH MATCHING PREFIX TO BE MULLED

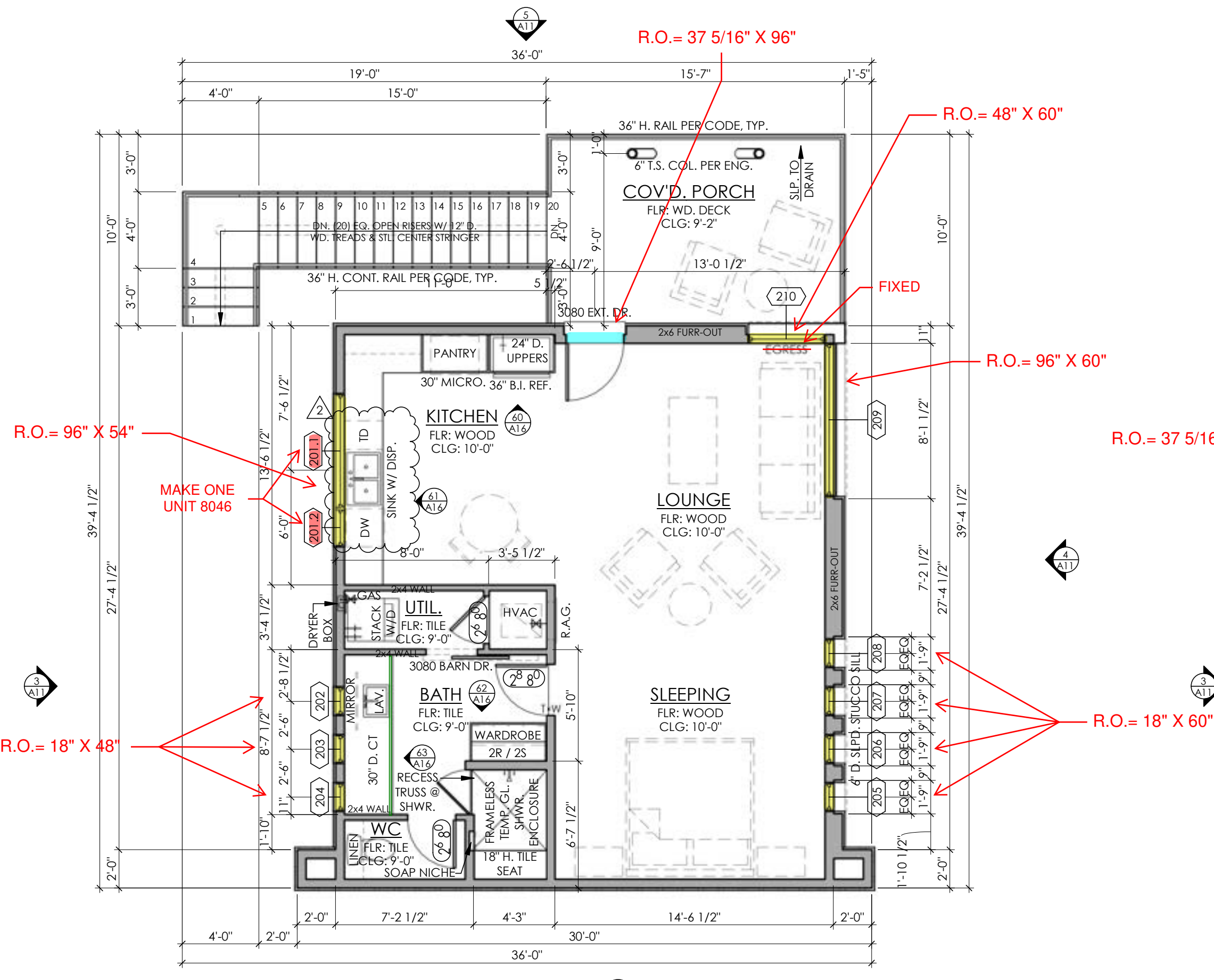
GARAGE UPPER FLOOR WINDOW SCHEDULE

	WIDTH	HEIGHT	STYLE	DIVIDED LITE	H. H.	TEMPERED	EGRESS	COMMENTS
201.1	6'-0"	5'-0"	FG		8'-0"			GARAGE
201.2	2'-0"	5'-0"	FG		8'-0"			GARAGE
202	1'-6"	4'-0"	FG		8'-0"			GARAGE
203	1'-6"	4'-0"	FG		8'-0"			GARAGE
204	1'-6"	4'-0"	FG		8'-0"			GARAGE
205	1'-6"	5'-0"	FG		8'-0"			GARAGE
206	1'-6"	5'-0"	FG		8'-0"			GARAGE
207	1'-6"	5'-0"	FG		8'-0"			GARAGE
208	1'-6"	5'-0"	FG		8'-0"			GARAGE
209	8'-0"	5'-0"	FG		8'-0"			GARAGE
210	4'-0"	5'-0"	CS		8'-0"		EGRESS	GARAGE

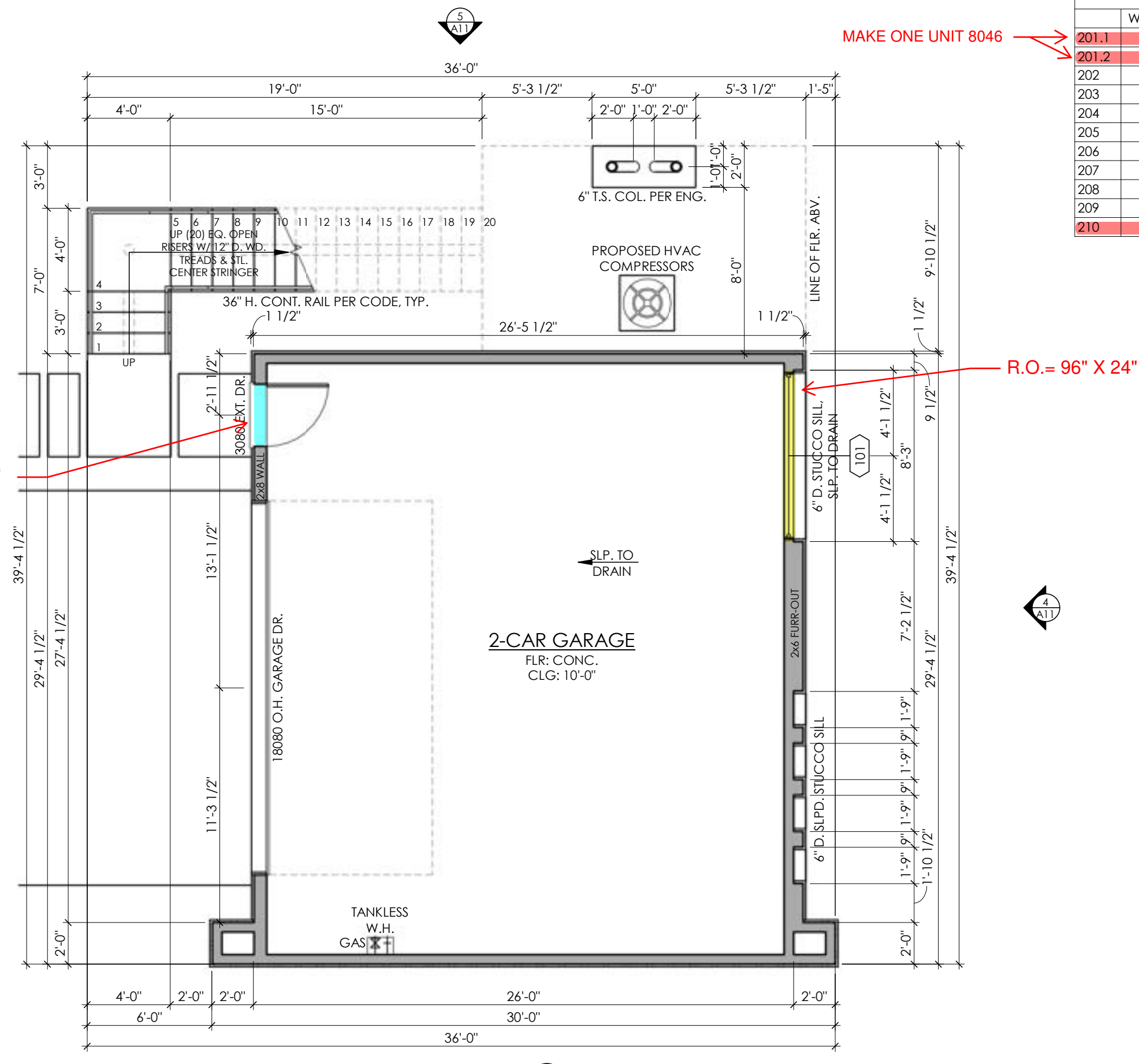
GARAGE SQUARE FOOTAGE CALCULATIONS

AREA NAME	AREA
UPPER HEATED	784.30 SF
HEATED	784.30 SF
COVID PORCH	155.83 SF
GARAGE	784.30 SF
MAS.	18.41 SF
UNHEATED	958.54 SF
TOTAL COVERED AREA	1,742.84 SF

NOTE: ALL WALLS TO BE
FRAMED W/ 6" STUDS U.N.O.



2 UPPER FLOOR NOTES
3/16" = 1'-0"



1 MAIN FLOOR NOTES
3/16" = 1'-0"

CC

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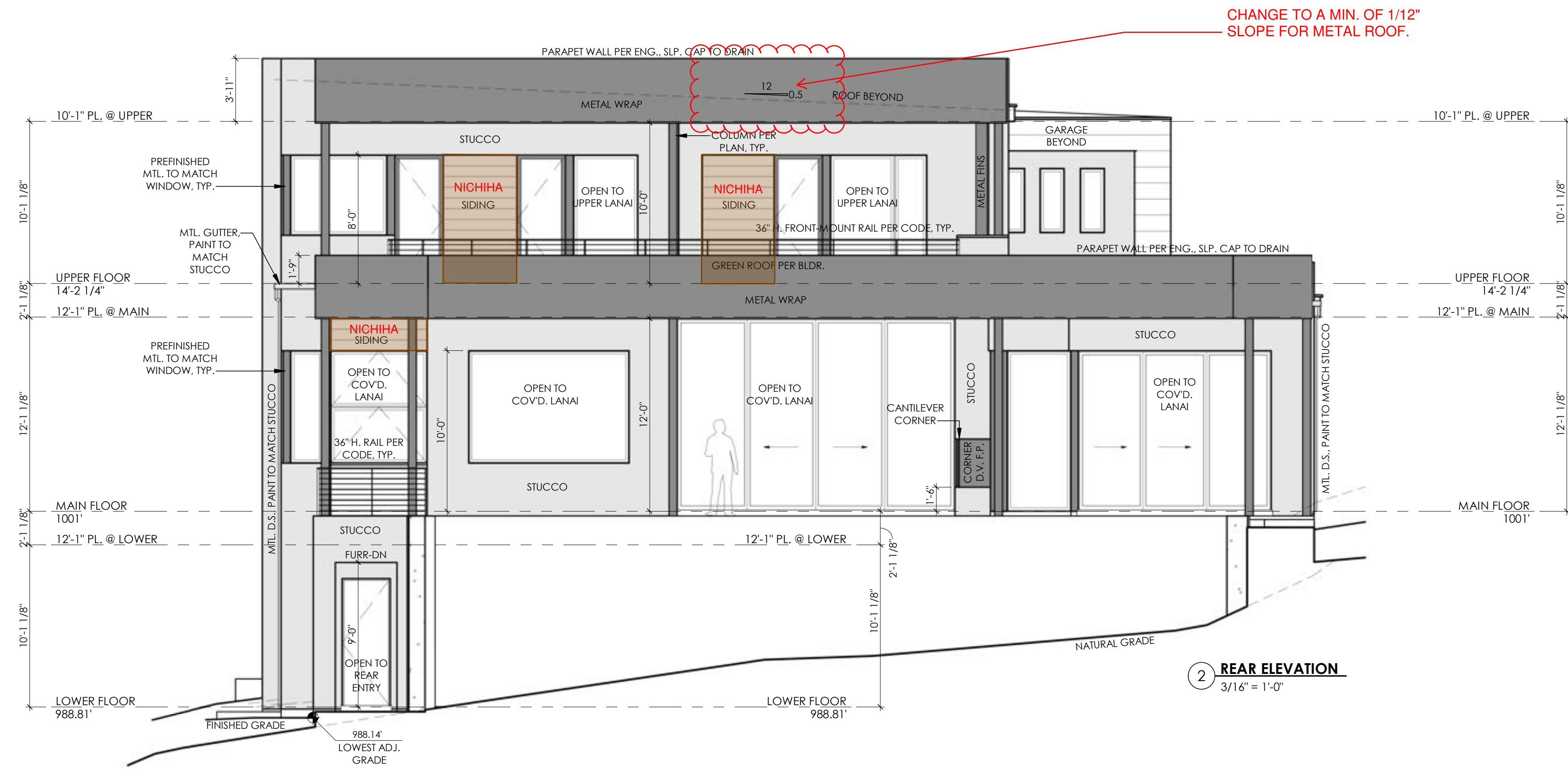
REVISION:
2 04/18/22 REV 2

REGISTERED ARCHITECT
CORRIESTONE ARCHITECTS
STATE OF TEXAS
12 193
04/18/2022

SENDER SPEC
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET: **A8**
8 of 19

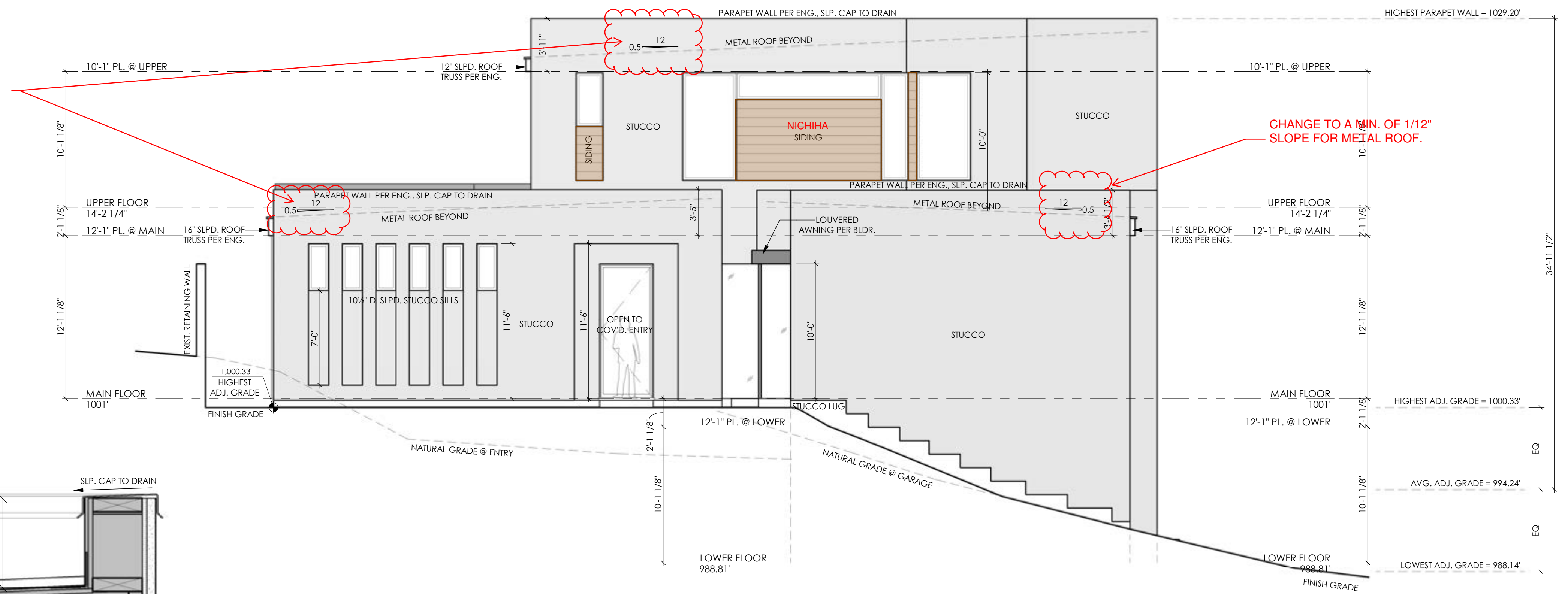
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2 REAR ELEVATION
3/16" = 1'-0"

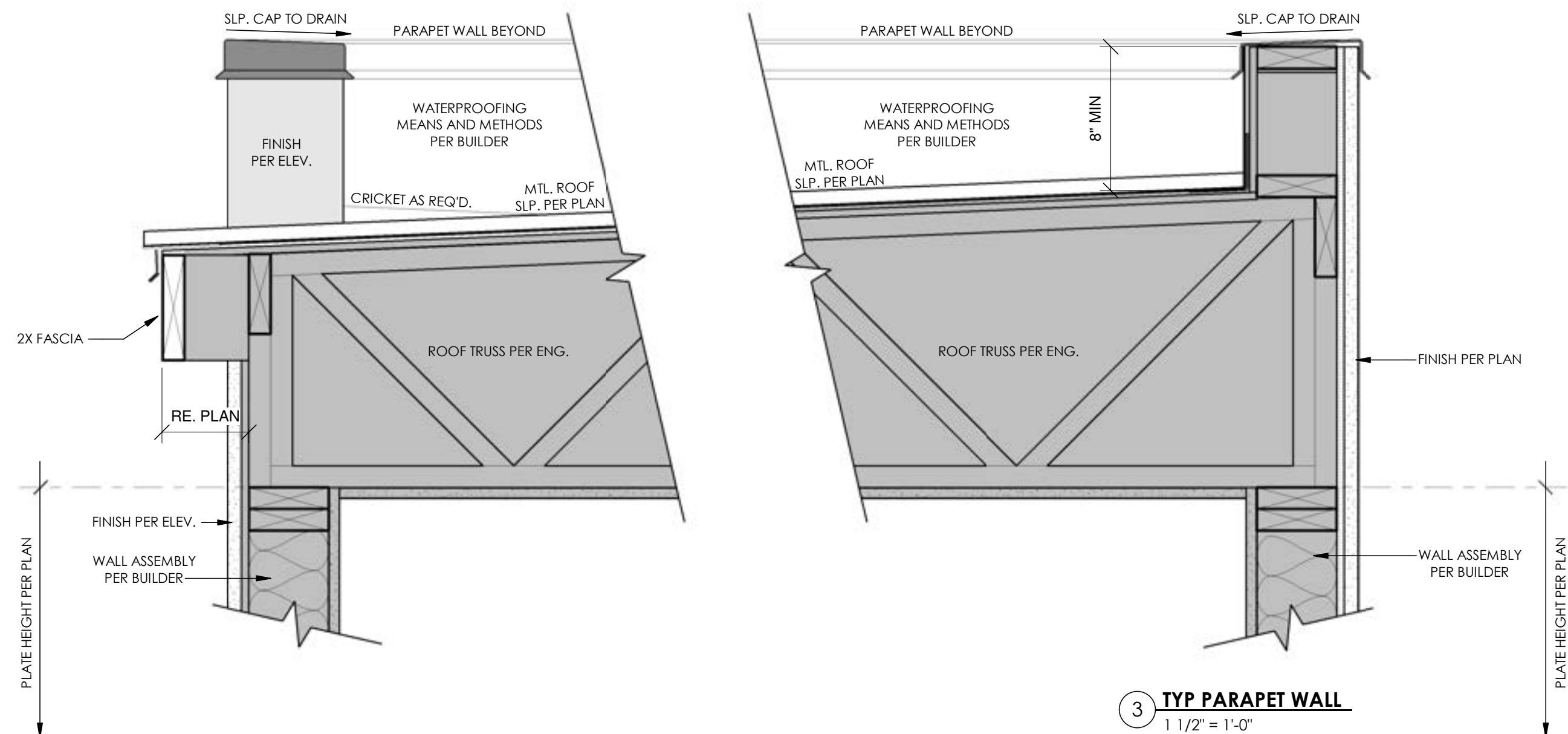
CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.

CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.



1 FRONT ELEVATION
3/16" = 1'-0"

3 TYP PARAPET WALL
1 1/2" = 1'-0"



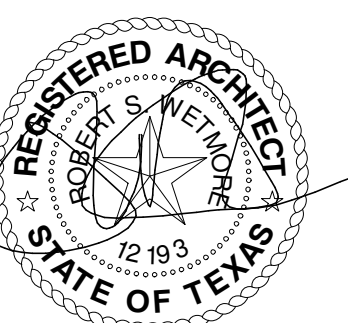
GENERAL ELEVATION NOTES

1. ALL WINDOW HDR. HTS. LOWER FLOOR TO BE 8'-0" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS. ALL WINDOW HDR. HTS. UPPER FLOOR TO BE 6'-8" A.F.F. UNLESS NOTED OTHERWISE ON FLOOR PLANS.
2. PROVIDE MIN. 4" W. TRIM AT ALL SIDES OF ALUMINUM WINDOWS. STUCCO TRIM AT STUCCO WALL VENER AND 1X4 WD. TRIM AT SIDING/WOOD VENEERS.
3. EXPOSED FOUNDATION TO BE MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS. UNDERPIN ALL EXPOSED FOUNDATIONS.
4. GRADE LINES SHOWN ON ELEVATION DRAWINGS SHALL NOT BE CONSTRUED TO REPRESENT ACTUAL FINISH GRADES. VERIFY FINISH GRADE ON JOB SITE.
5. ACTUAL ELEVATIONS TO VARY PER GRADE OF EXISTING LOT.
6. ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
7. CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
8. CONTRACTOR TO PROVIDE RAINSCREEN AND FLASHING BEHIND ALL STUCCO / SIDING VENEERS TO ASSURE ADEQUATE DRAINAGE.



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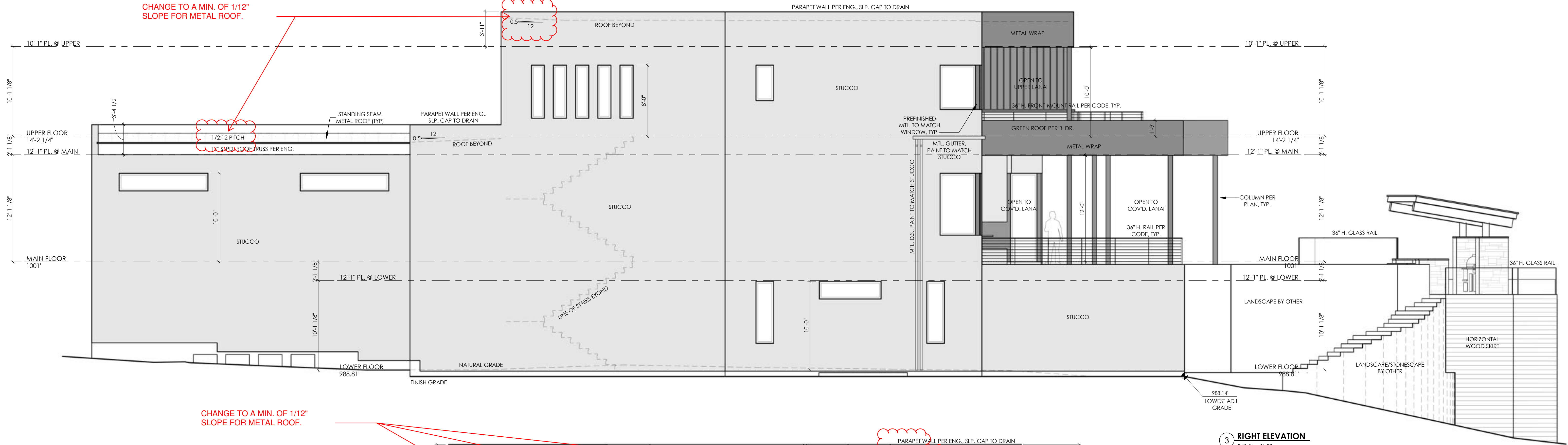


SENDER SPEC.
6809 OASIS PASS
AUSTIN, TEXAS 78732

SHEET: A9
9 of 19

PROJECT NO: 21101
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DATE: 03/09/2022
CHECKED BY: XX
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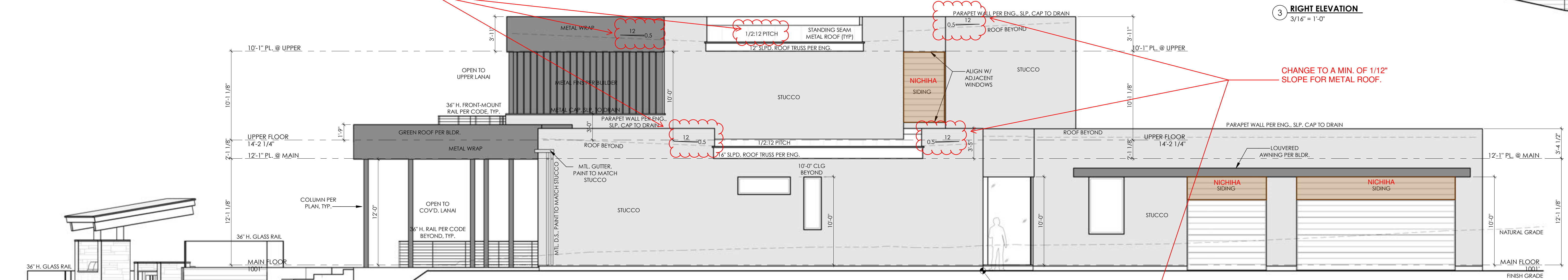
CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.



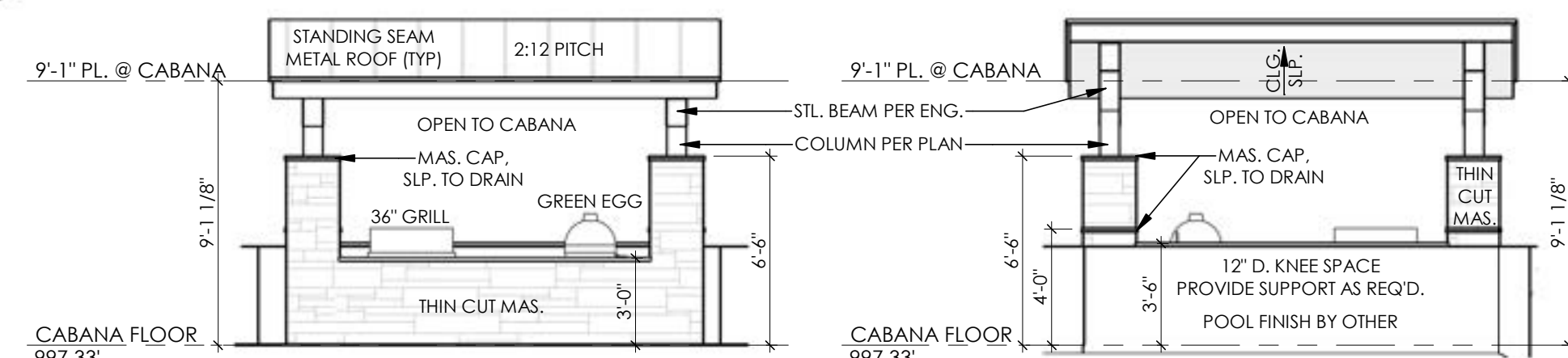
CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.

3 RIGHT ELEVATION
3/16" = 1'-0"

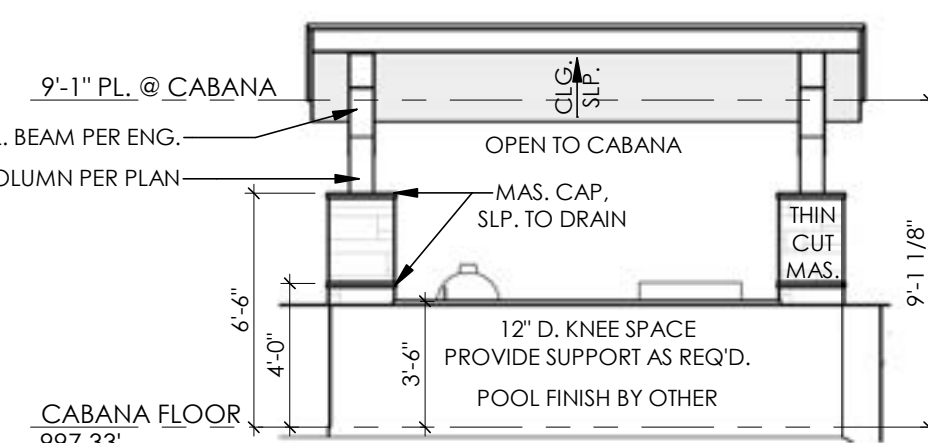
CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.



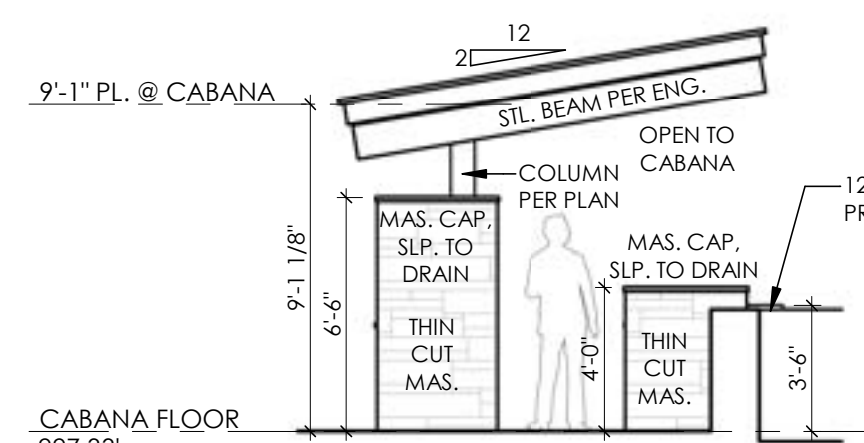
4 LEFT ELEVATION
3/16" = 1'-0"



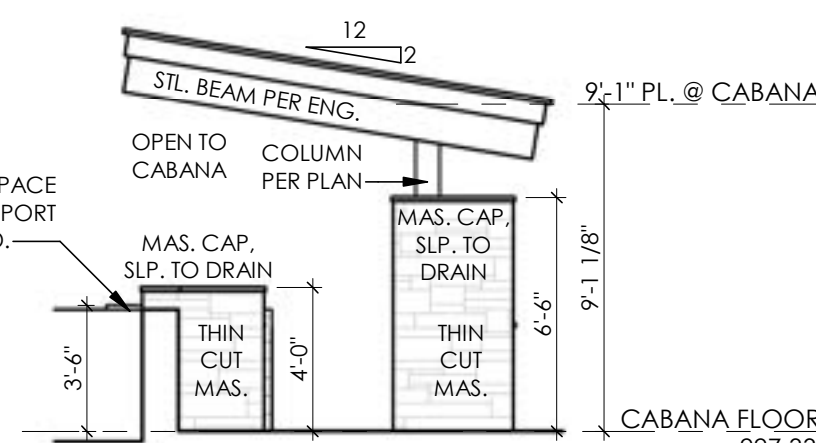
9 CABANA
3/16" = 1'-0"



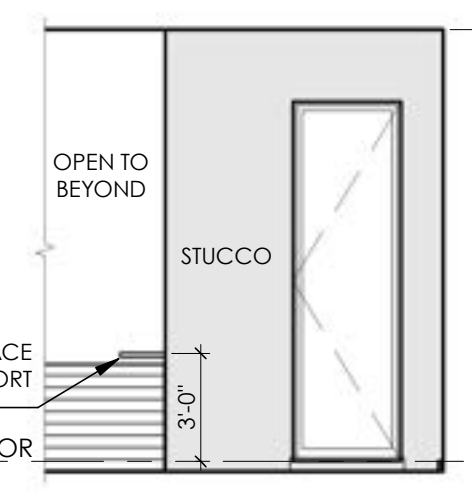
8 CABANA
3/16" = 1'-0"



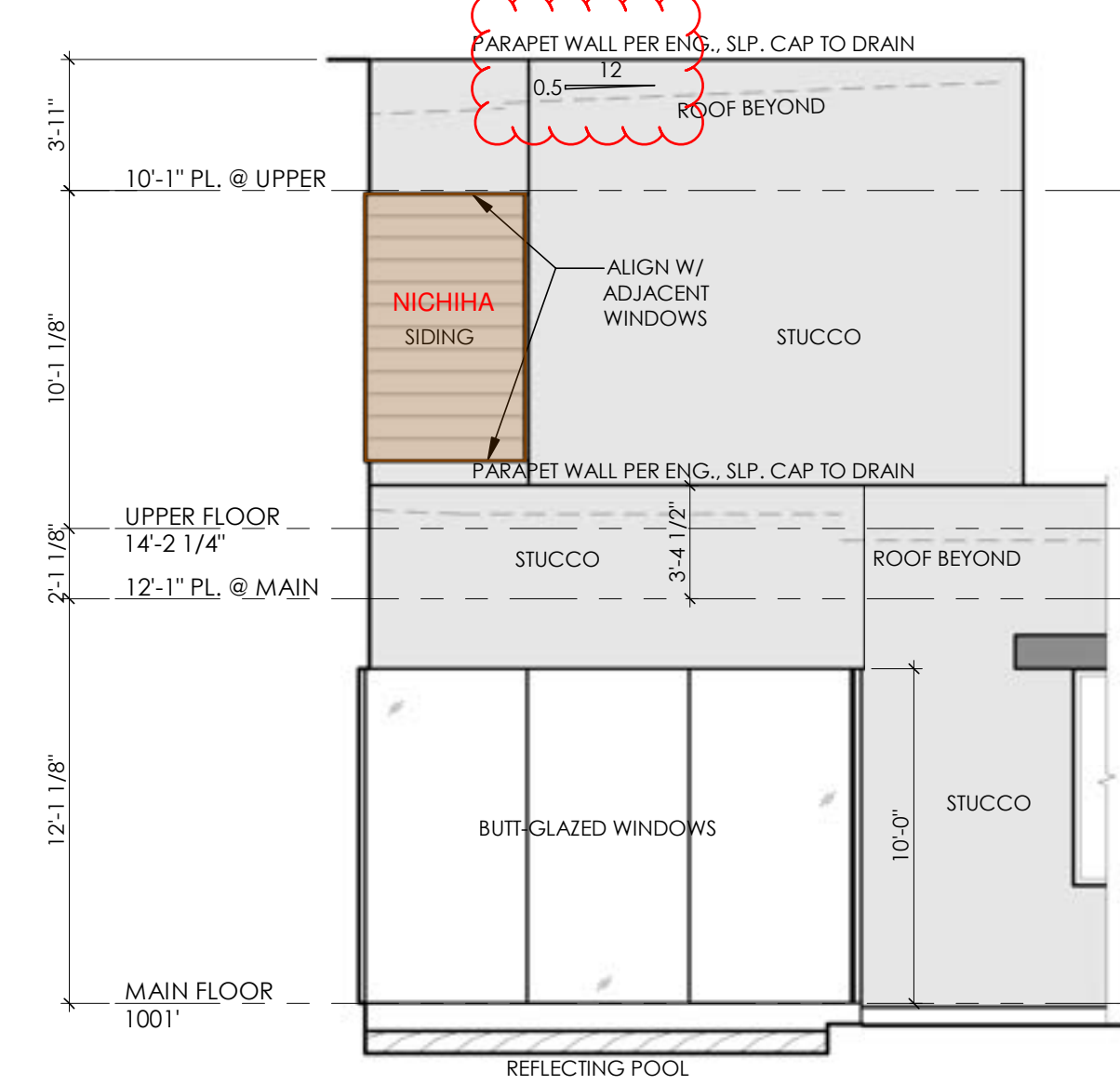
11 CABANA
3/16" = 1'-0"



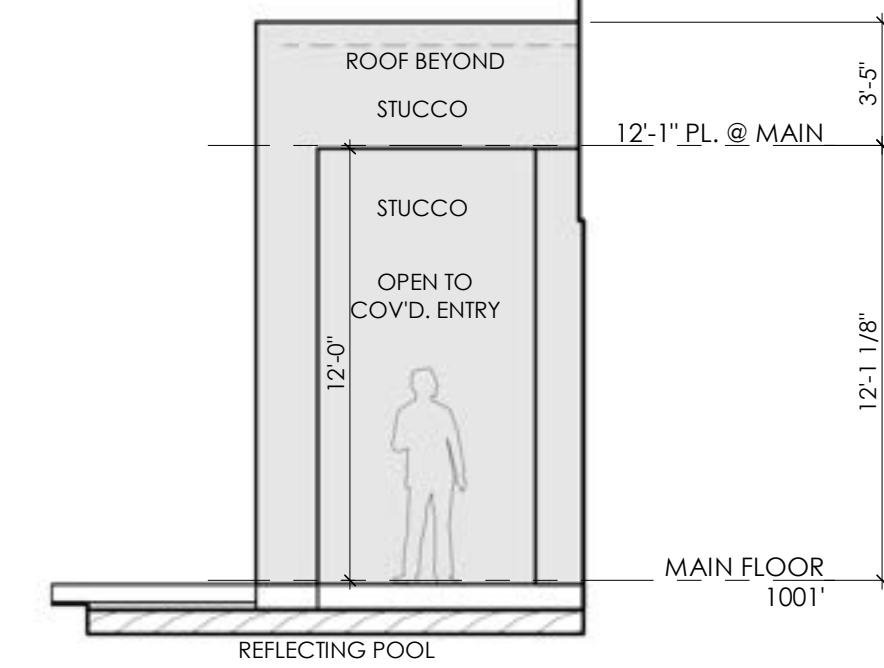
10 CABANA
3/16" = 1'-0"



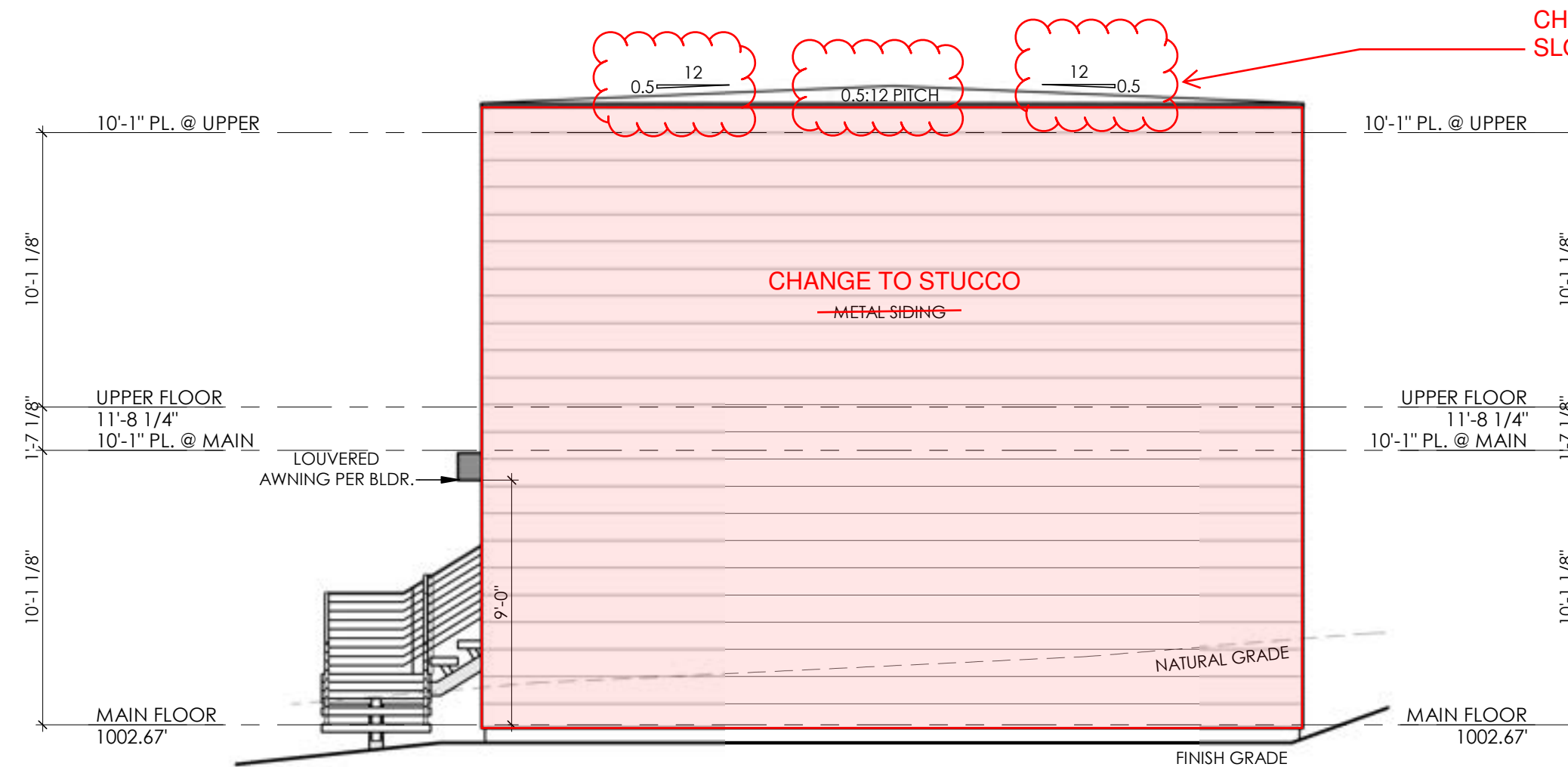
7 PARTIAL ELEVATION
3/16" = 1'-0"



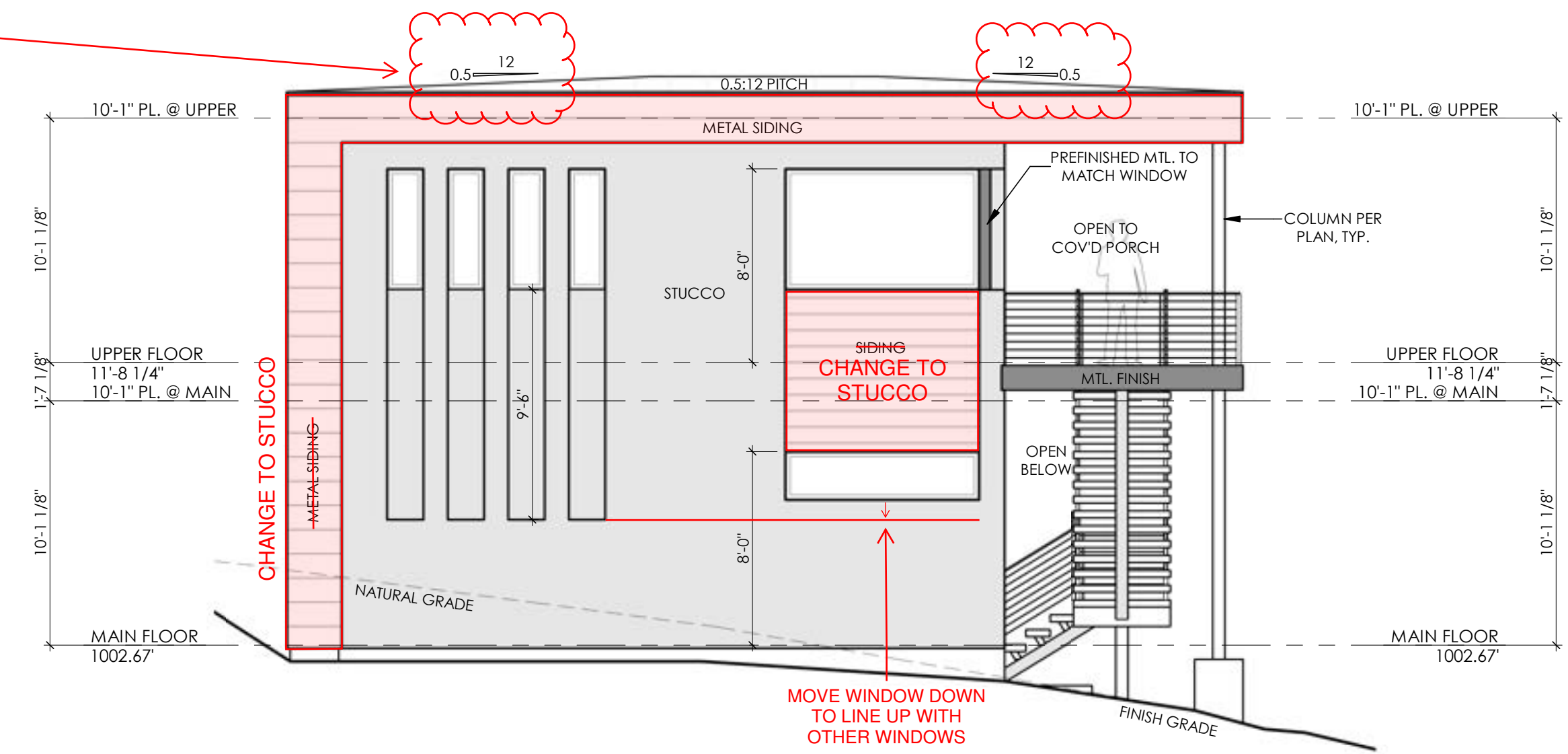
6 PARTIAL ELEVATION
3/16" = 1'-0"



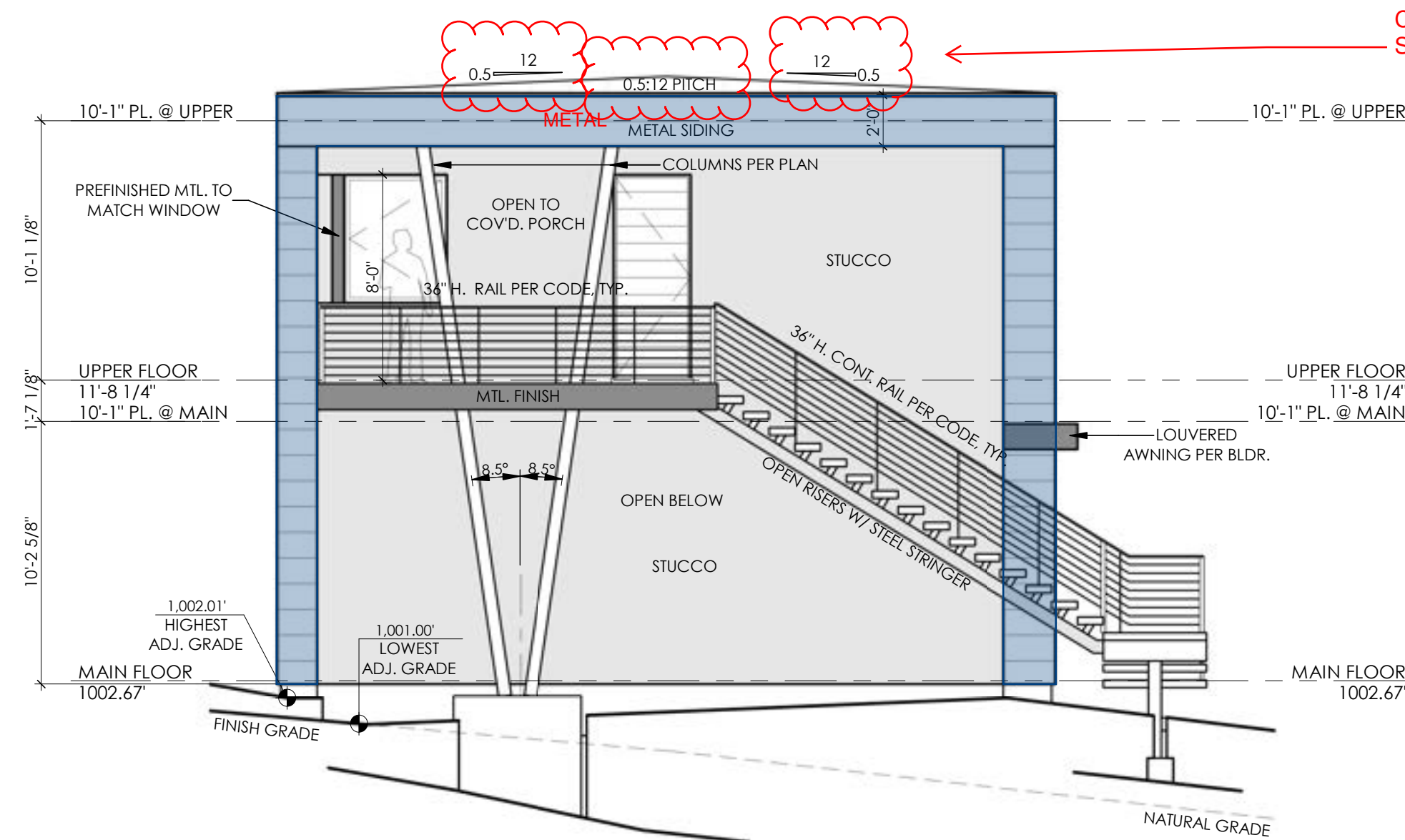
5 PARTIAL ELEVATION
3/16" = 1'-0"



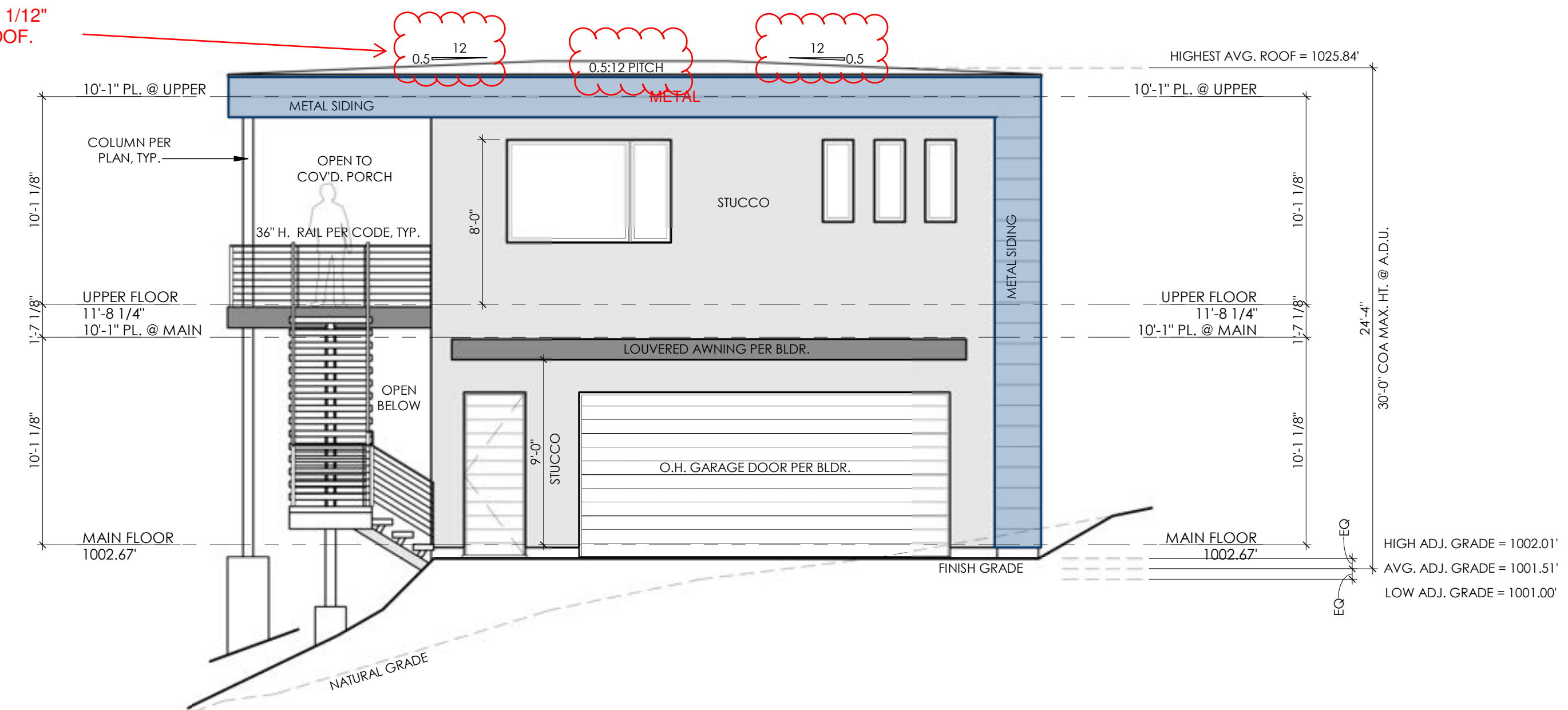
6 GARAGE RIGHT ELEVATION
3/16" = 1'-0"



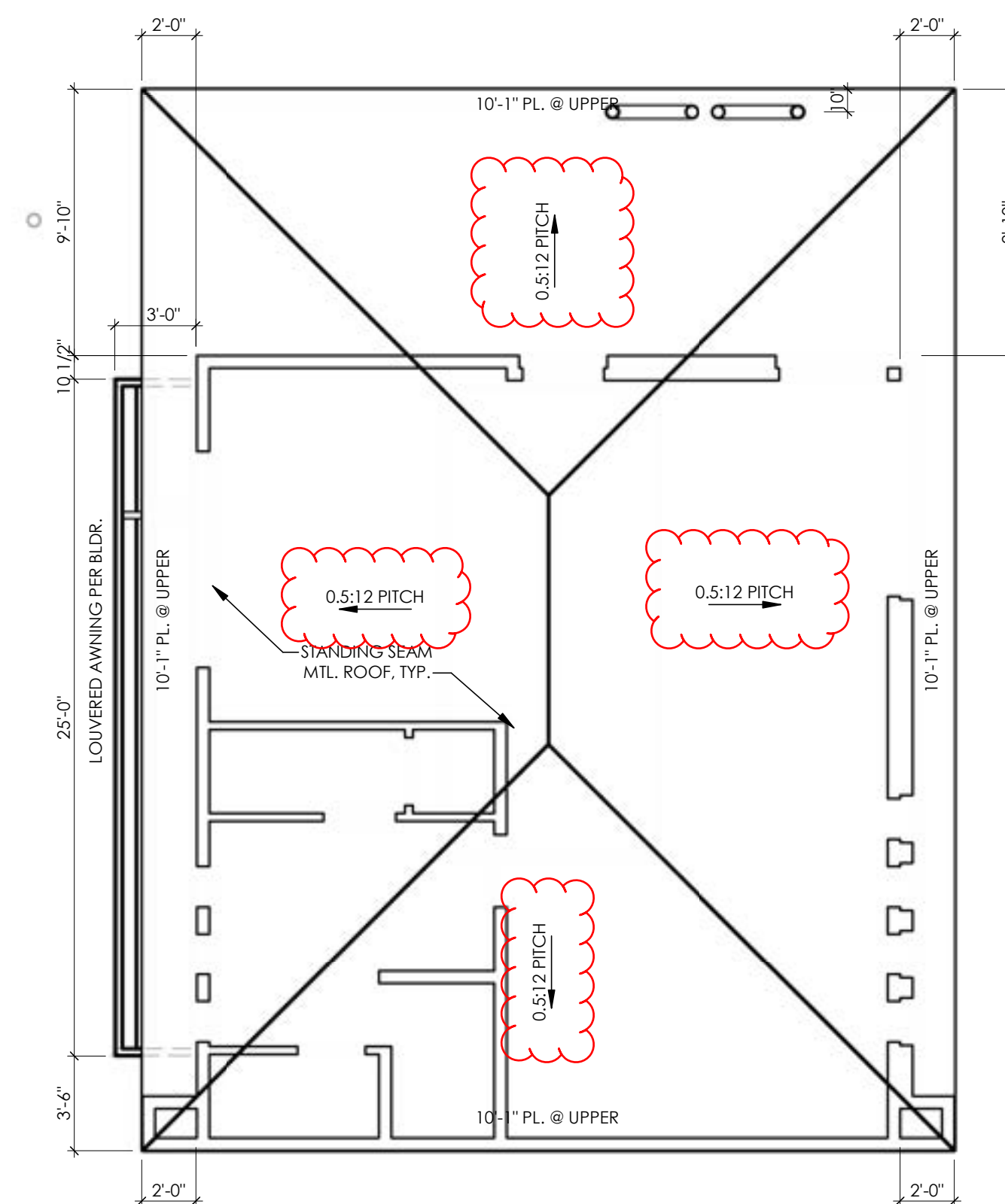
4 GARAGE REAR ELEVATION
3/16" = 1'-0"



5 GARAGE LEFT ELEVATION
3/16" = 1'-0"



3 GARAGE FRONT ELEVATION
3/16" = 1'-0"



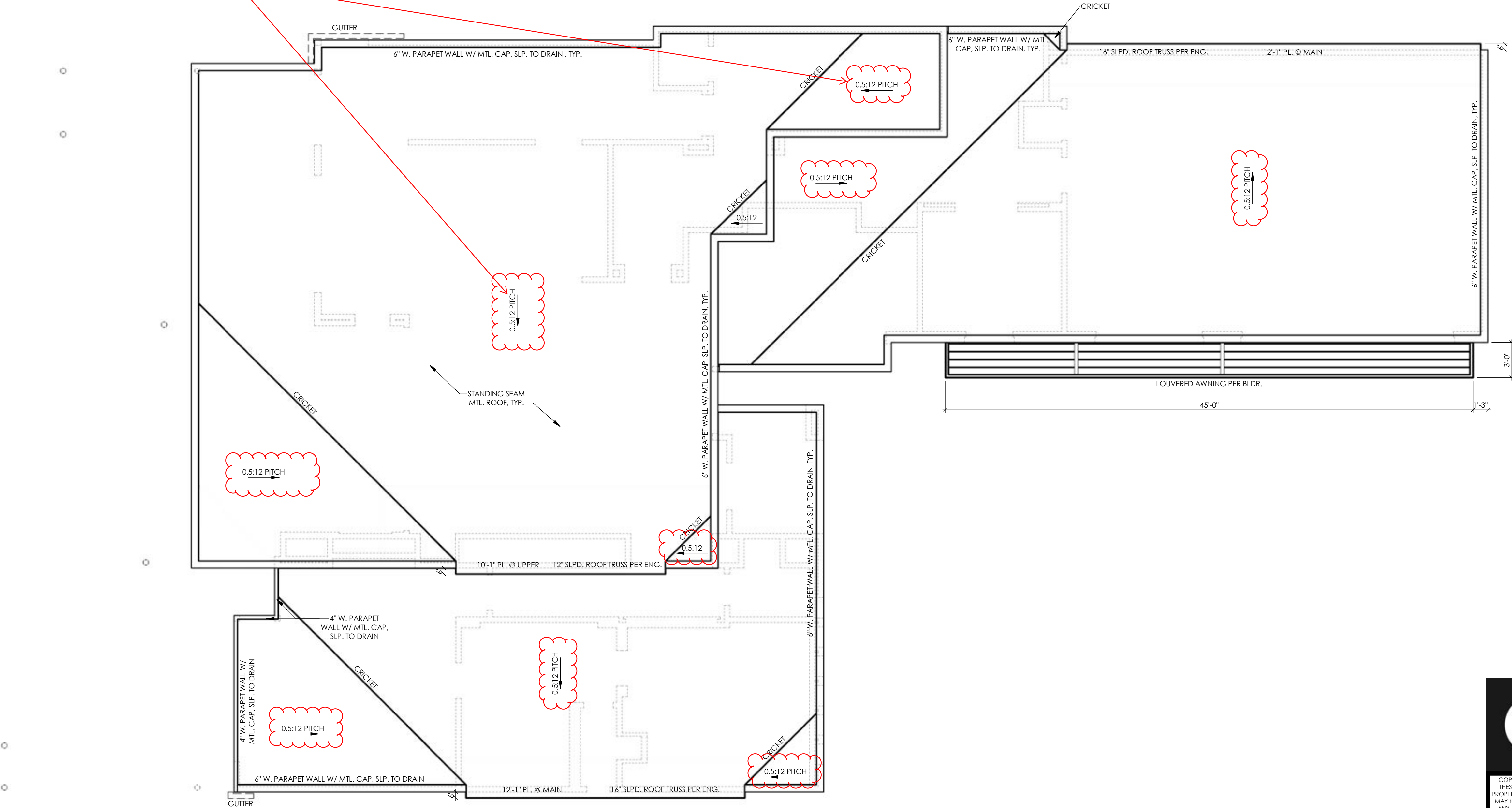
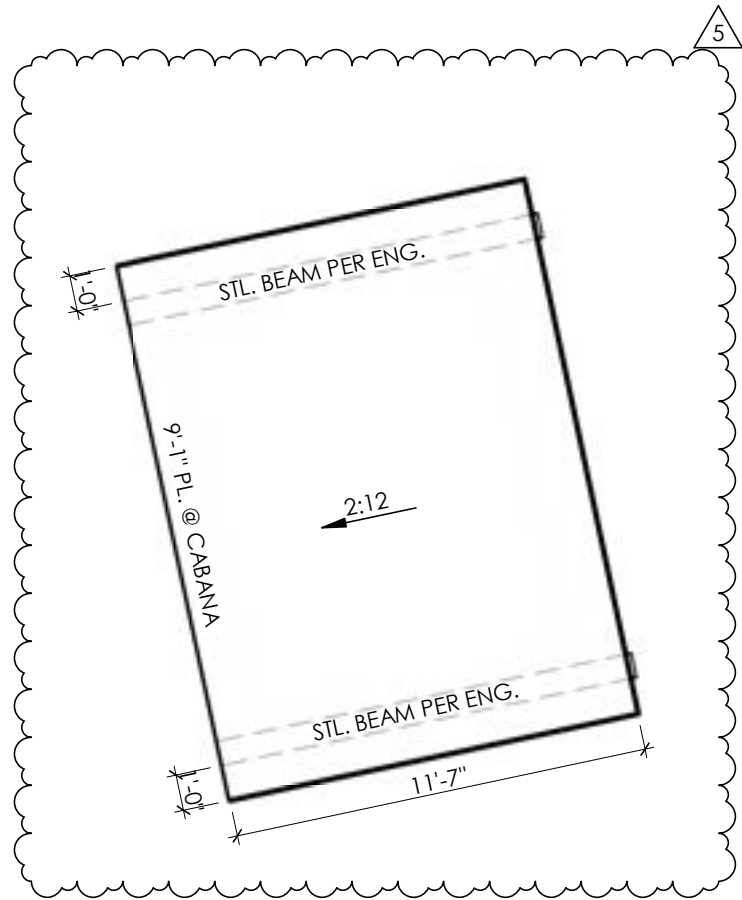
1 ROOF PLAN
3/16" = 1'-0"

GENERAL ROOF NOTES

1. PITCHES TO BE AS NOTED ON PLANS.
2. HIPS, VALLEYS & RIDGES TO BE FRAMED ONE SIZE LARGER THAN RAFTERS.
3. ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE.
4. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF.
5. ALL OVERHANGS TO BE 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.
6. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
7. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
8. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
9. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE ARCHITECT, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
10. THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.

PROVIDE ICE & WATER SHIELD @ ALL ROOF PITCHES 3:12 & LOWER

CHANGE TO A MIN. OF 1/12" SLOPE FOR METAL ROOF.



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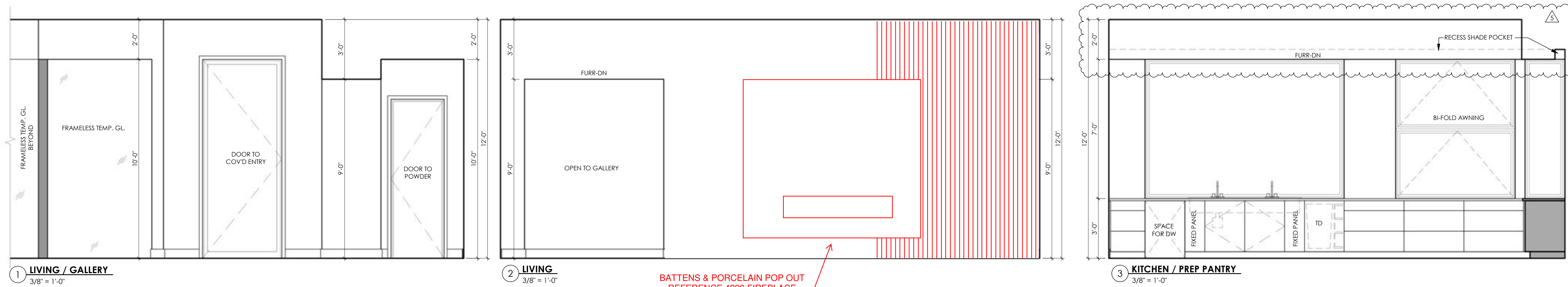
REVISION:
5 01/25/23 ENV. R1, RCP/ELEC.

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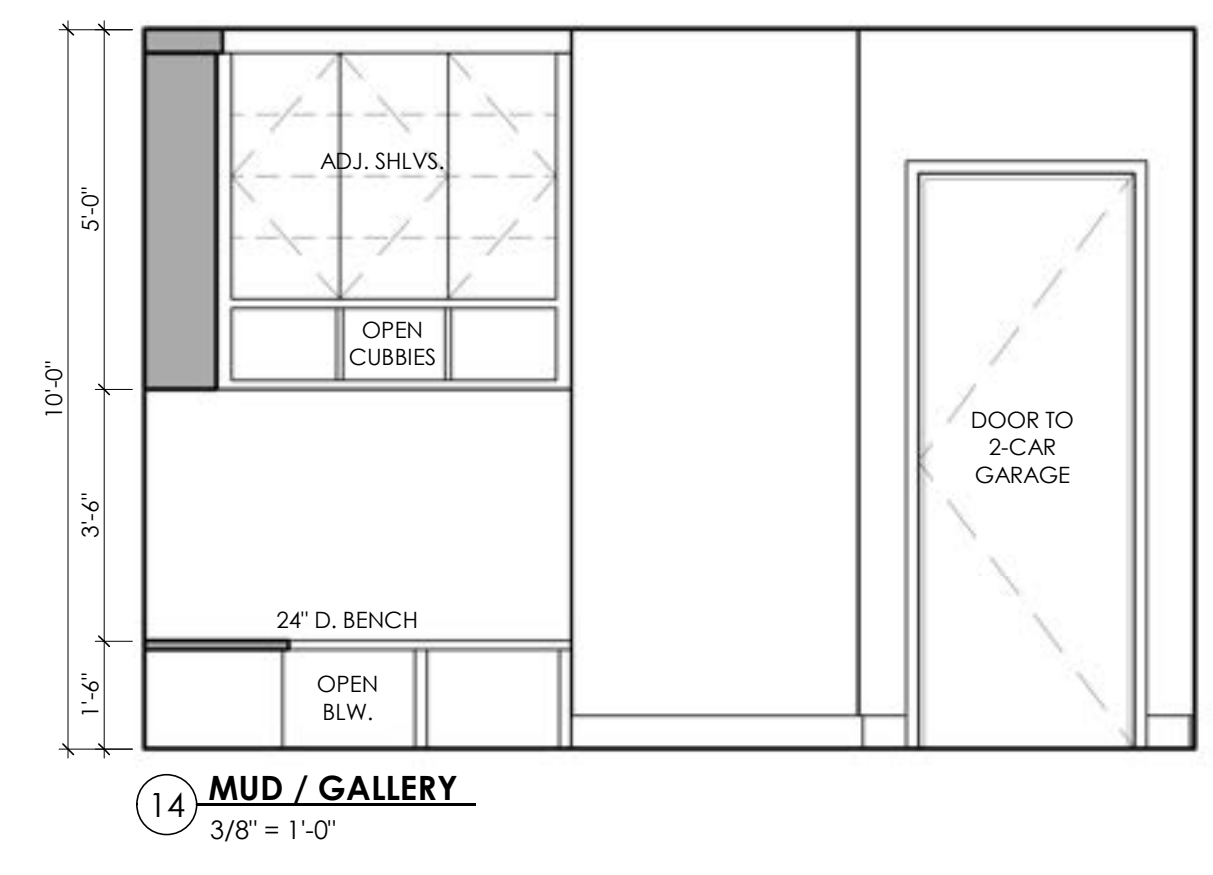
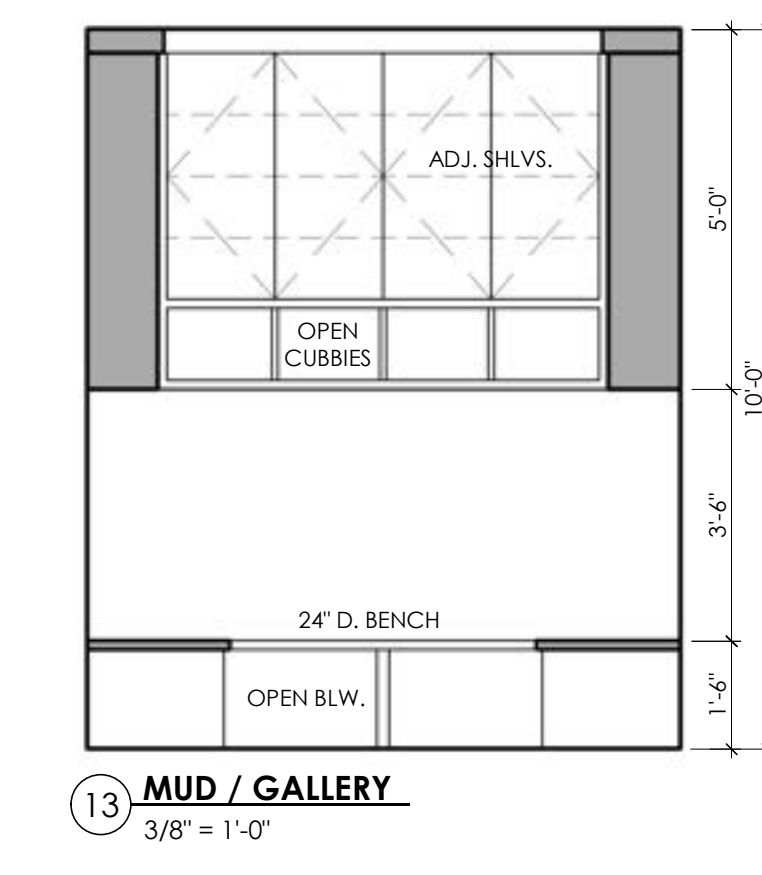
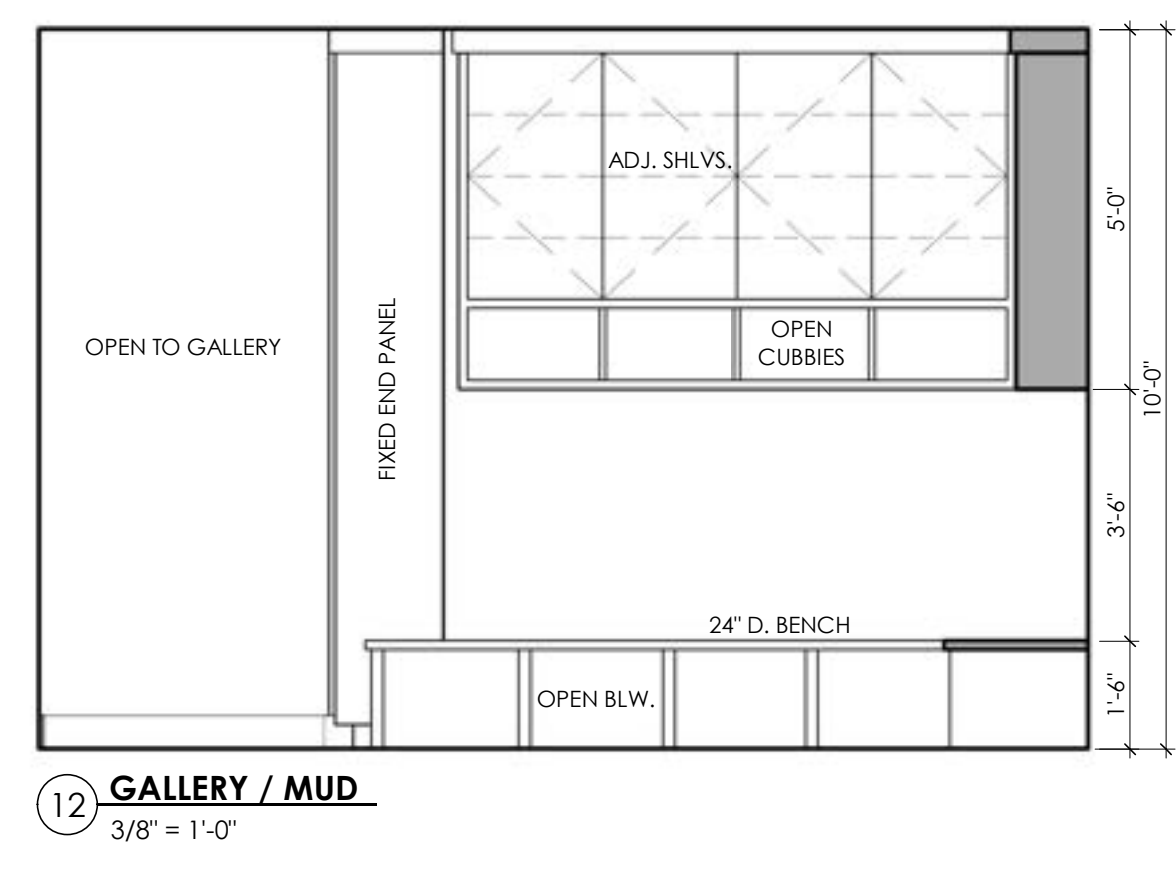
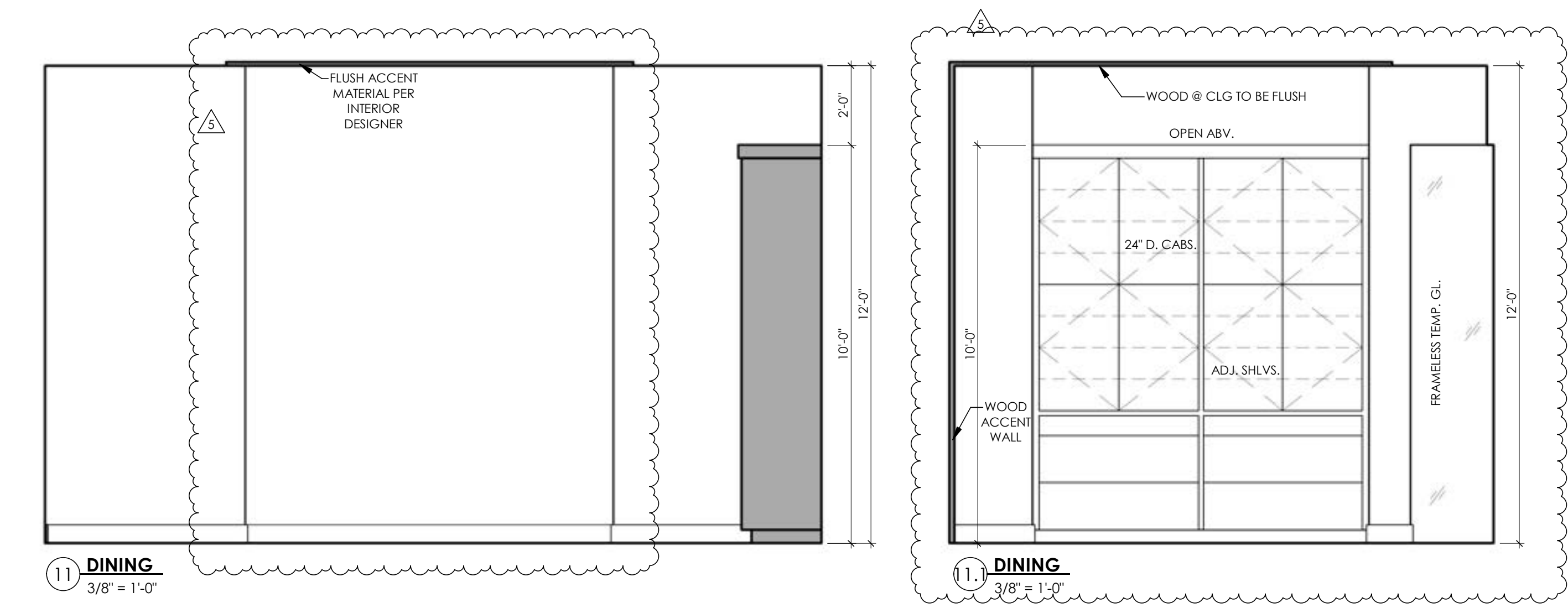
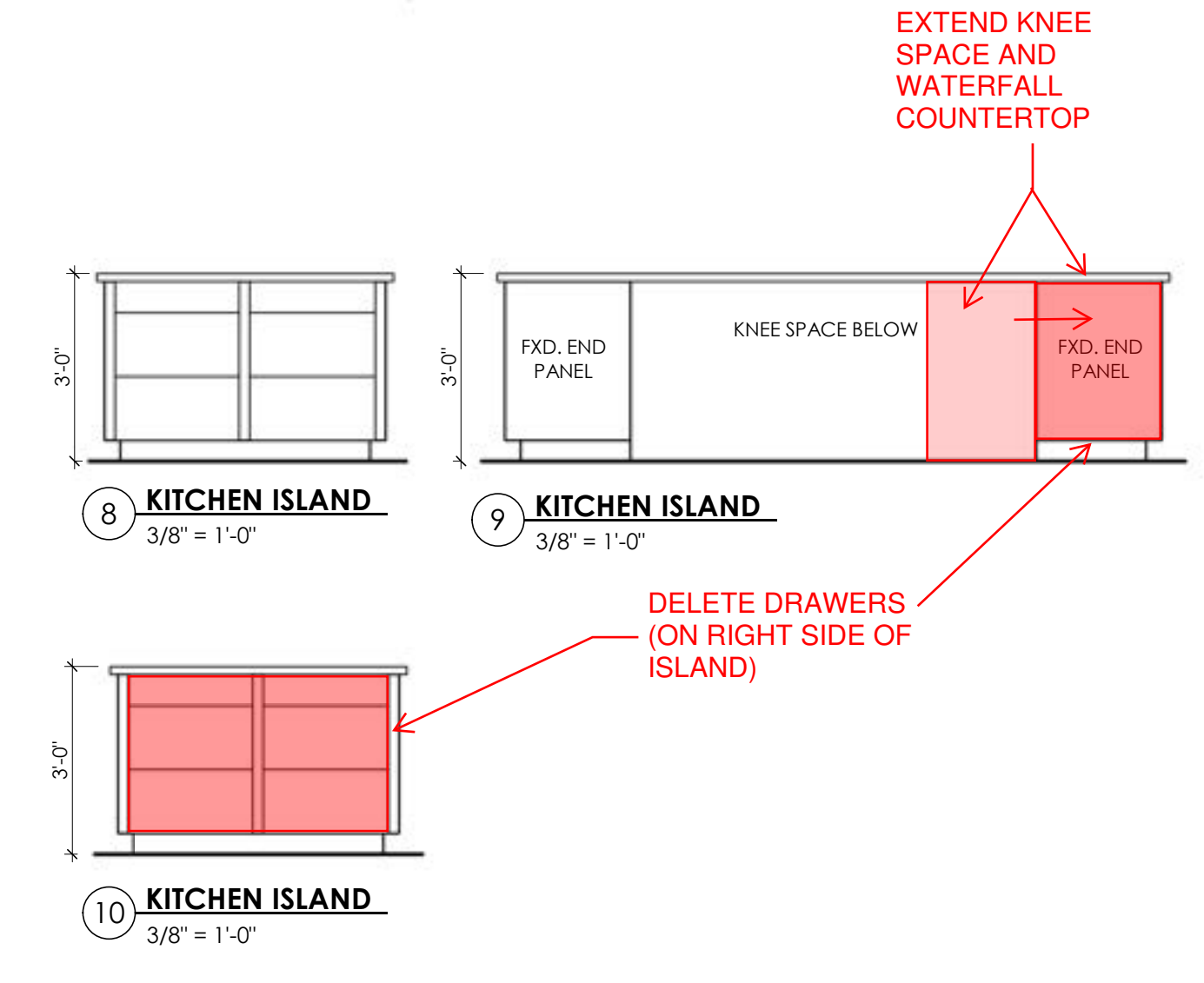
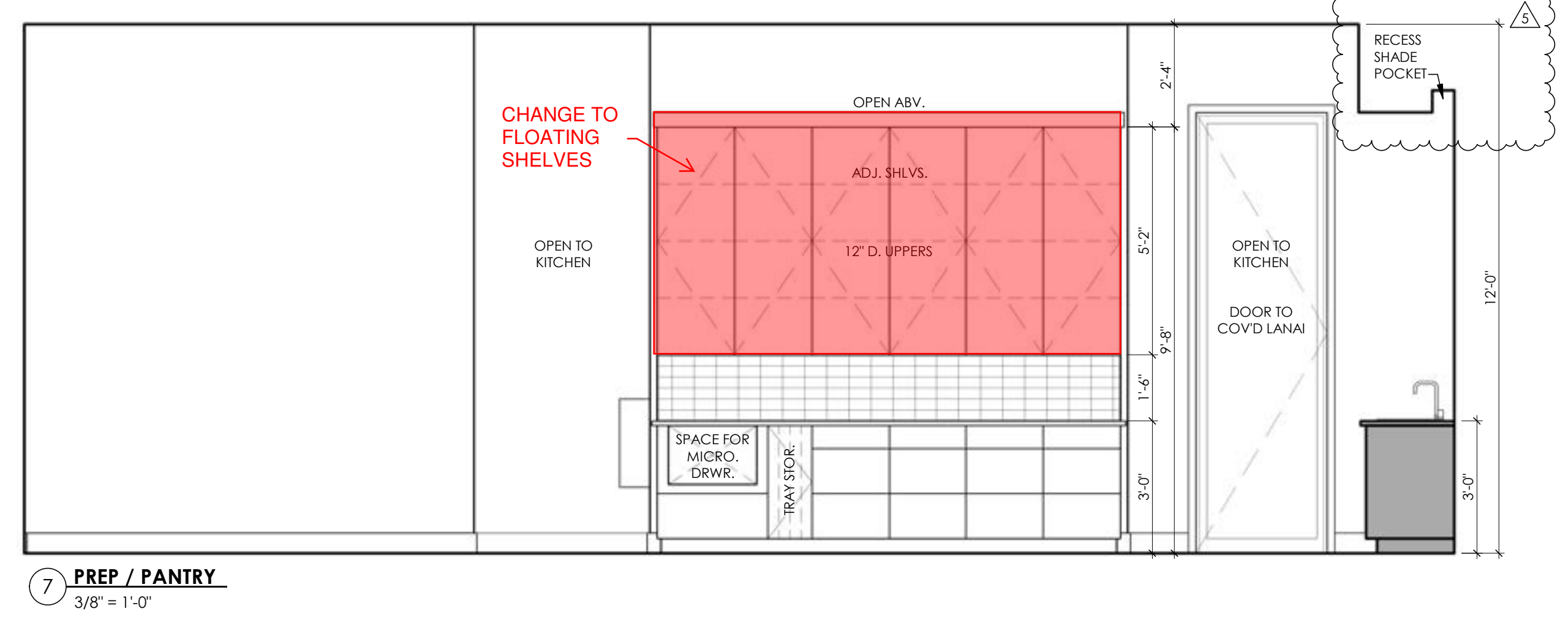
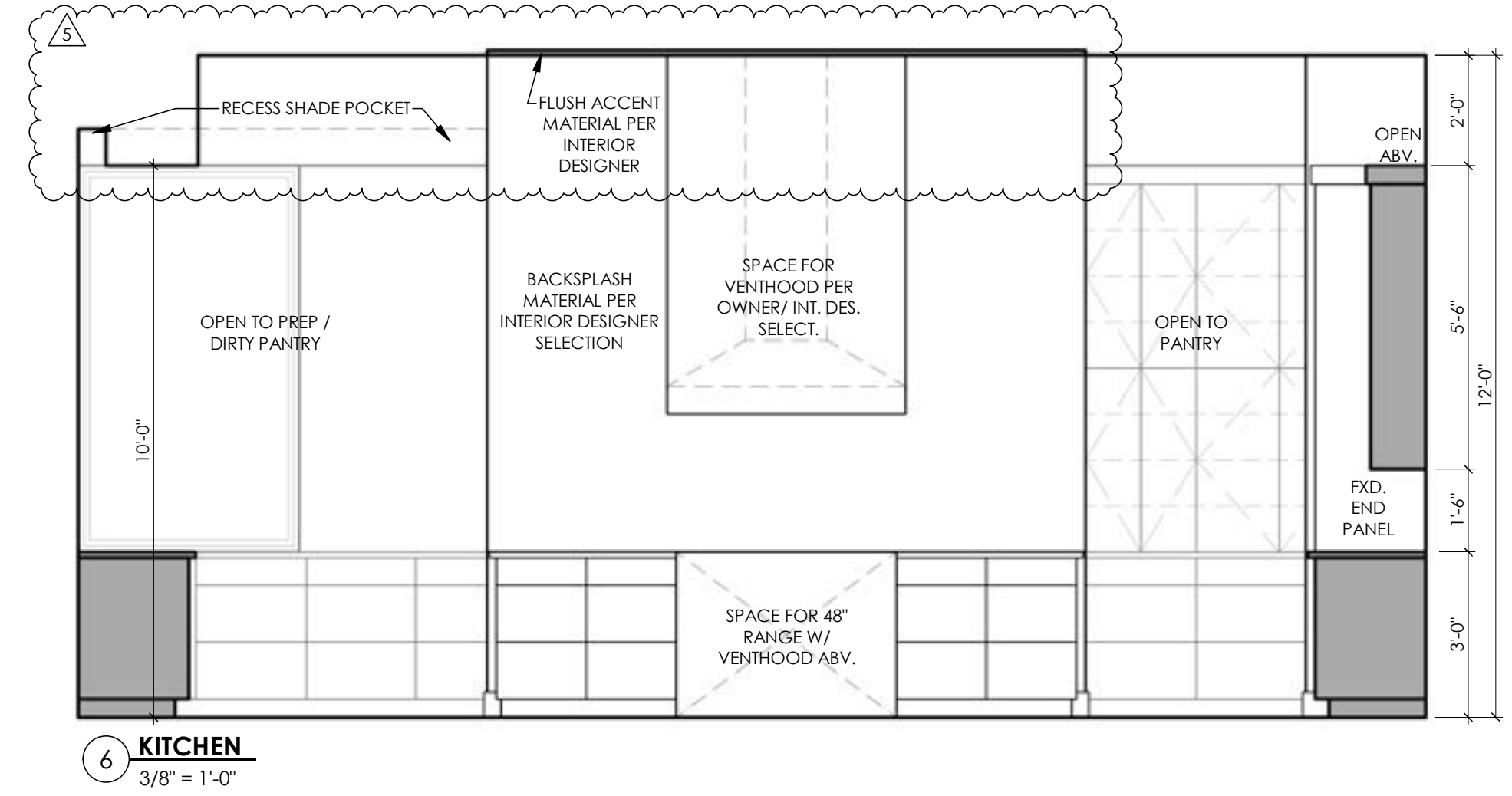
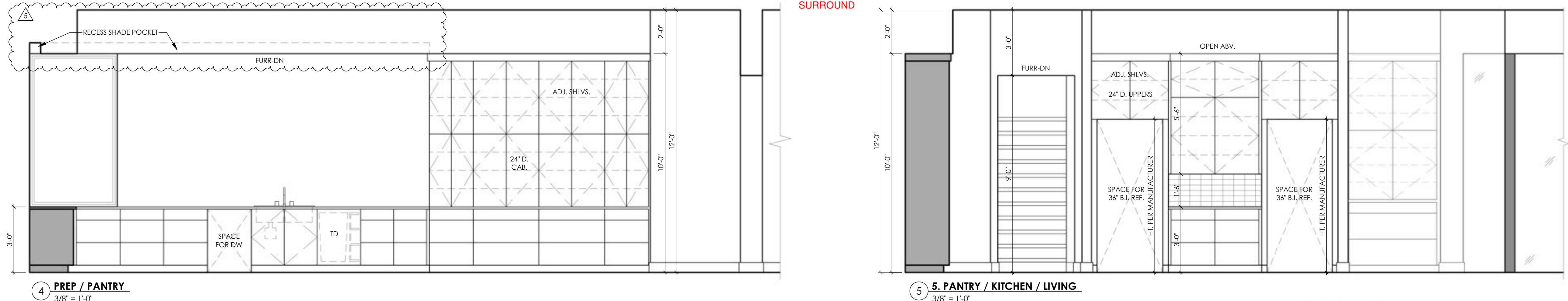
SHEET: **A12**
12 of 21

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: PC
PROJECT MGR: SRK



GENERAL INTERIOR ELEVATION NOTES

1. WIDTH DIMENSIONS ARE APPROXIMATE. MEASURE ON SITE FOR EXACT WIDTH OF CABINET AREAS.
2. STANDARD STILES BETWEEN DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT STILE PLACEMENT & WIDTH.
3. VERIFY CABINETS AND CABINET STYLE(S) WITH OWNER. INTERIOR DESIGNER OR BUILDER. STANDARD DOORS & DRAWERS ARE SHOWN. CHECK WITH CONTRACTOR FOR EXACT DOOR & DRAWER PLACEMENT, FRONTS & HARDWARE.
4. SHELVES ARE SPACED EQUALLY UNLESS NOTED. ADJUSTABLE SHELVES IN ALL CABINET LOCATIONS, EXCEPT WHERE NOTED AS FIXED OR GIVEN A SPECIFIC HEIGHT.
5. LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
6. APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
7. PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
8. PROVIDE 2" GROMMET AT ALL KNEE SPACES OF DESKS FOR CORD & CABLE ACCESS TO PLUGS BELOW.
9. PROVIDE GROMMETS AS REQ'D. FOR CABLES AT ENTERTAINMENT CENTERS, MEDIA CENTERS &/OR AUDIO/VIDEO CENTERS.
10. CABINET CONTRACTOR TO PROVIDE AND INSTALL END PANELS TO MATCH CABINET FACE DESIGNS. PROVIDE AT ALL END PANEL LOCATIONS AND AT ALL WALL FRONTS AT RAISED BAR LOCATIONS. PROVIDE MATCHING OR PER DESIGNER SELECTION BULKHEADS AS REQUIRED FOR STURDY TOP SUPPORT.
11. TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
12. CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
13. SPECIALTY CABINETS, HARDWARE, AND/OR ACCESSORIES TO BE COORDINATED BETWEEN DESIGNER, OWNER & SUBCONTRACTOR AS REQUIRED.



CC

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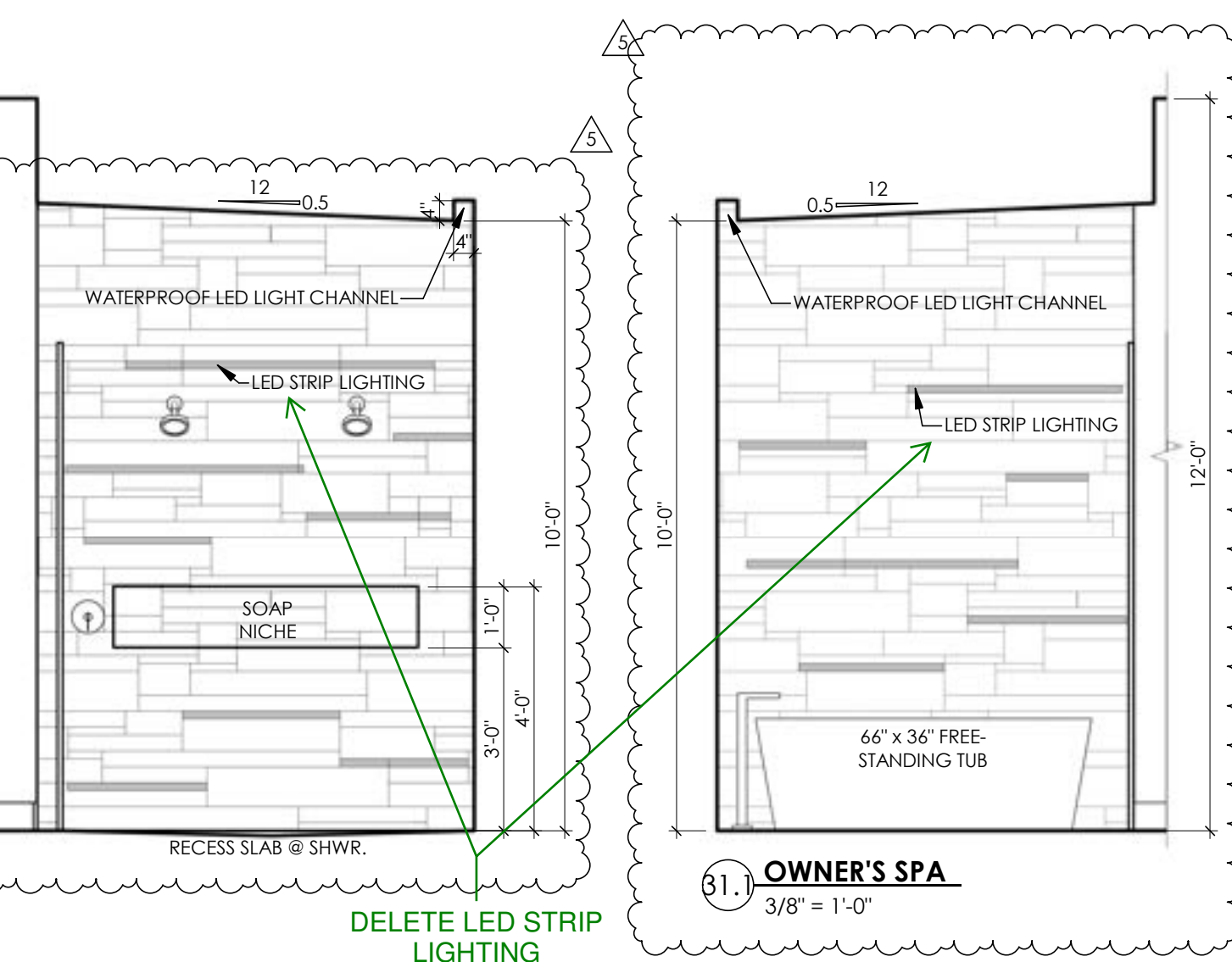
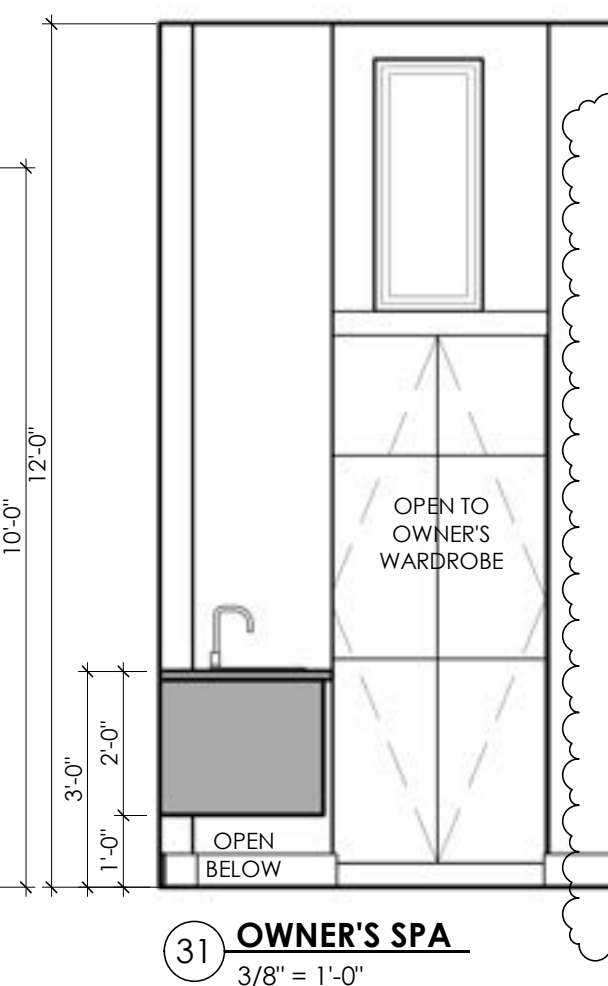
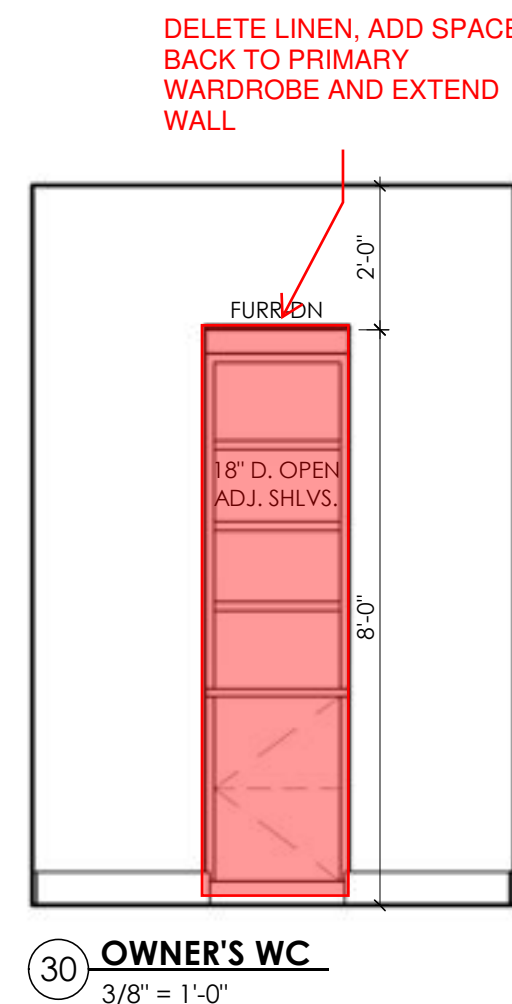
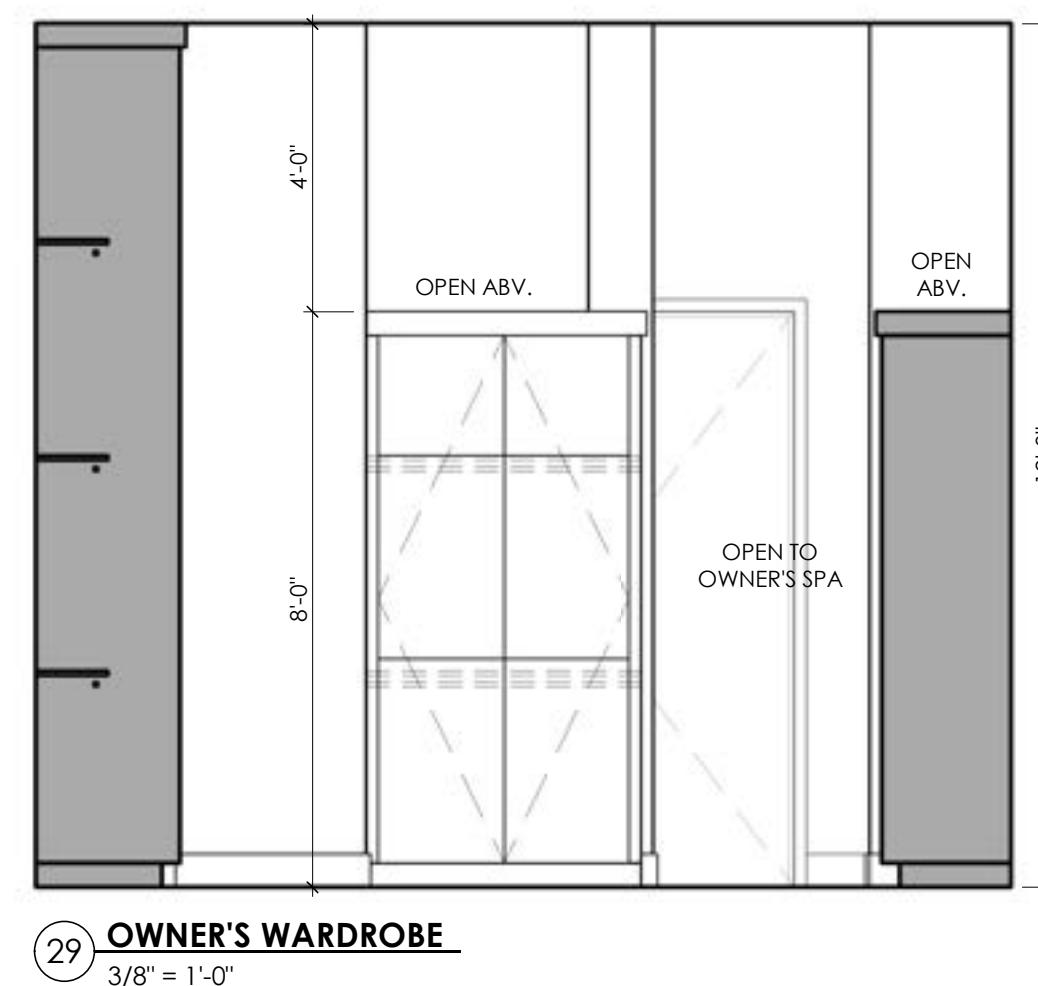
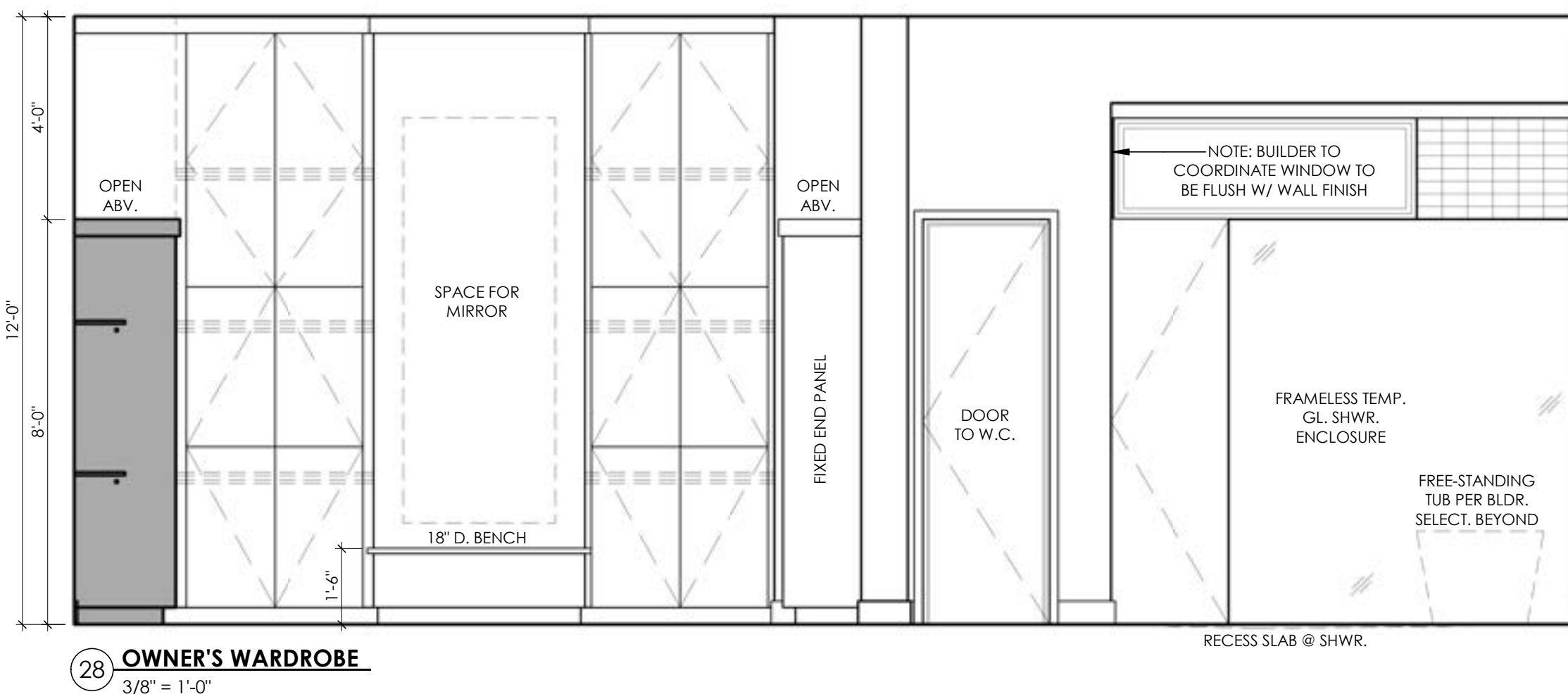
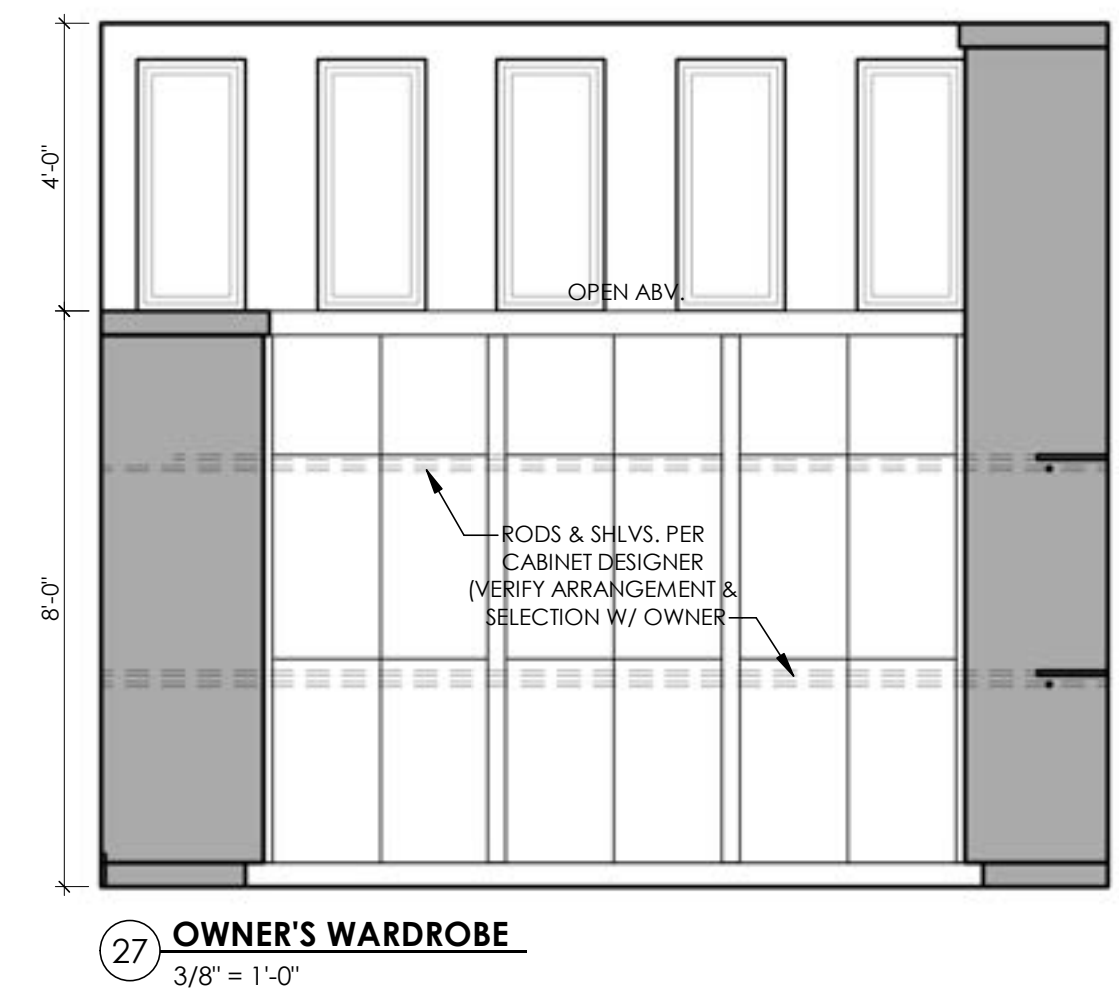
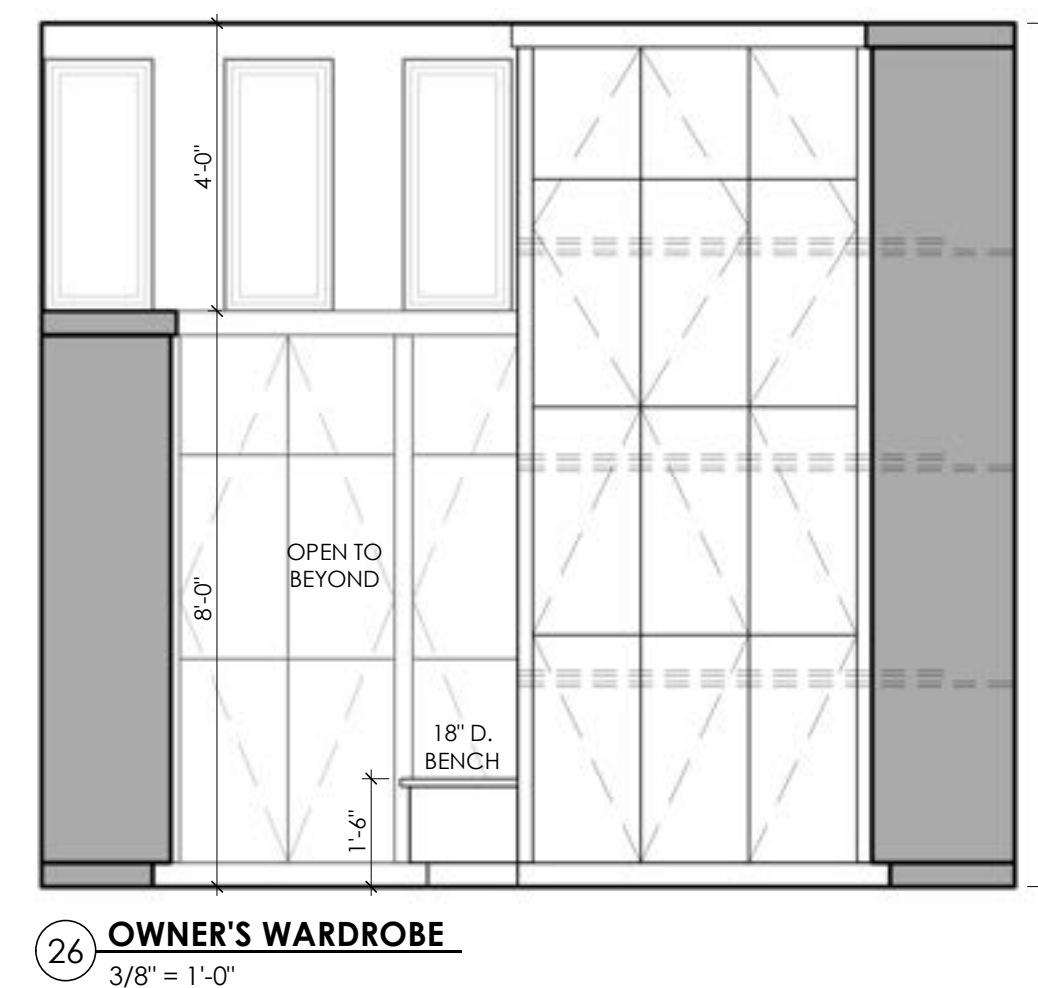
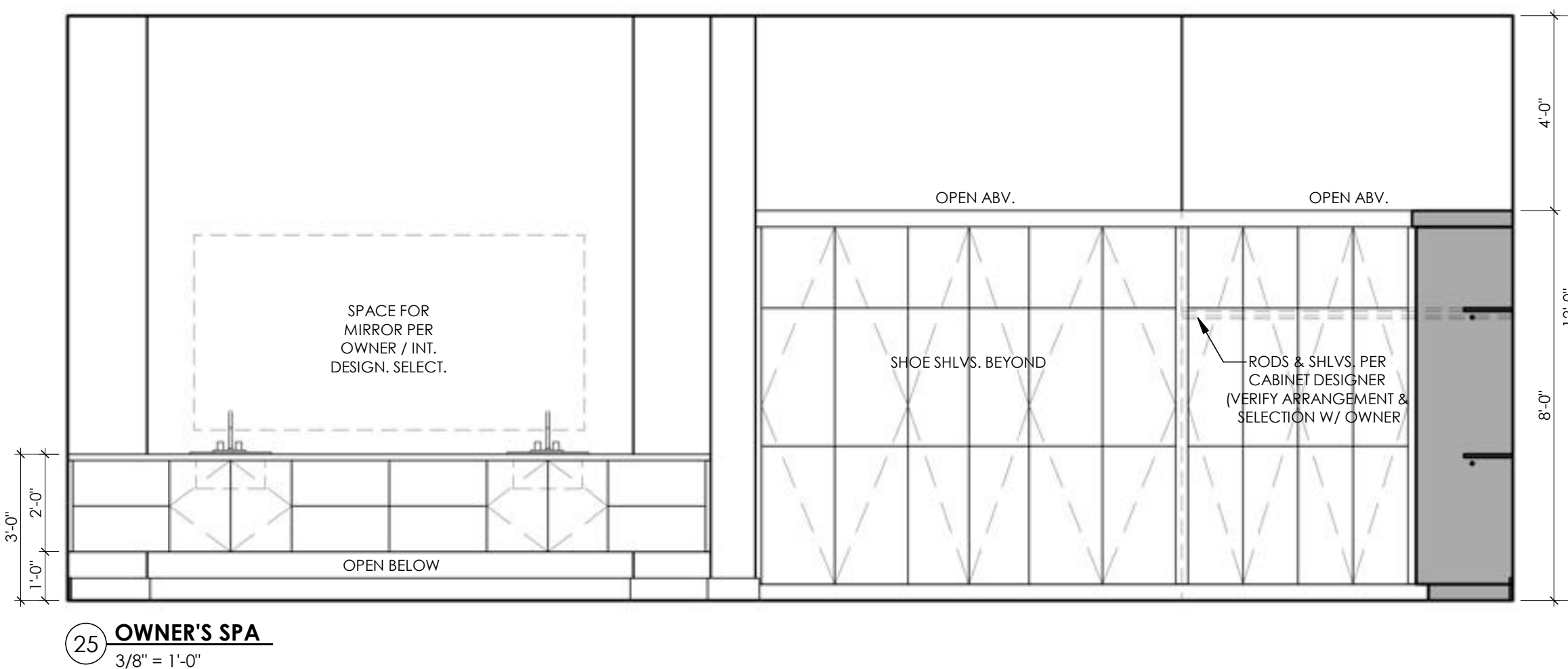
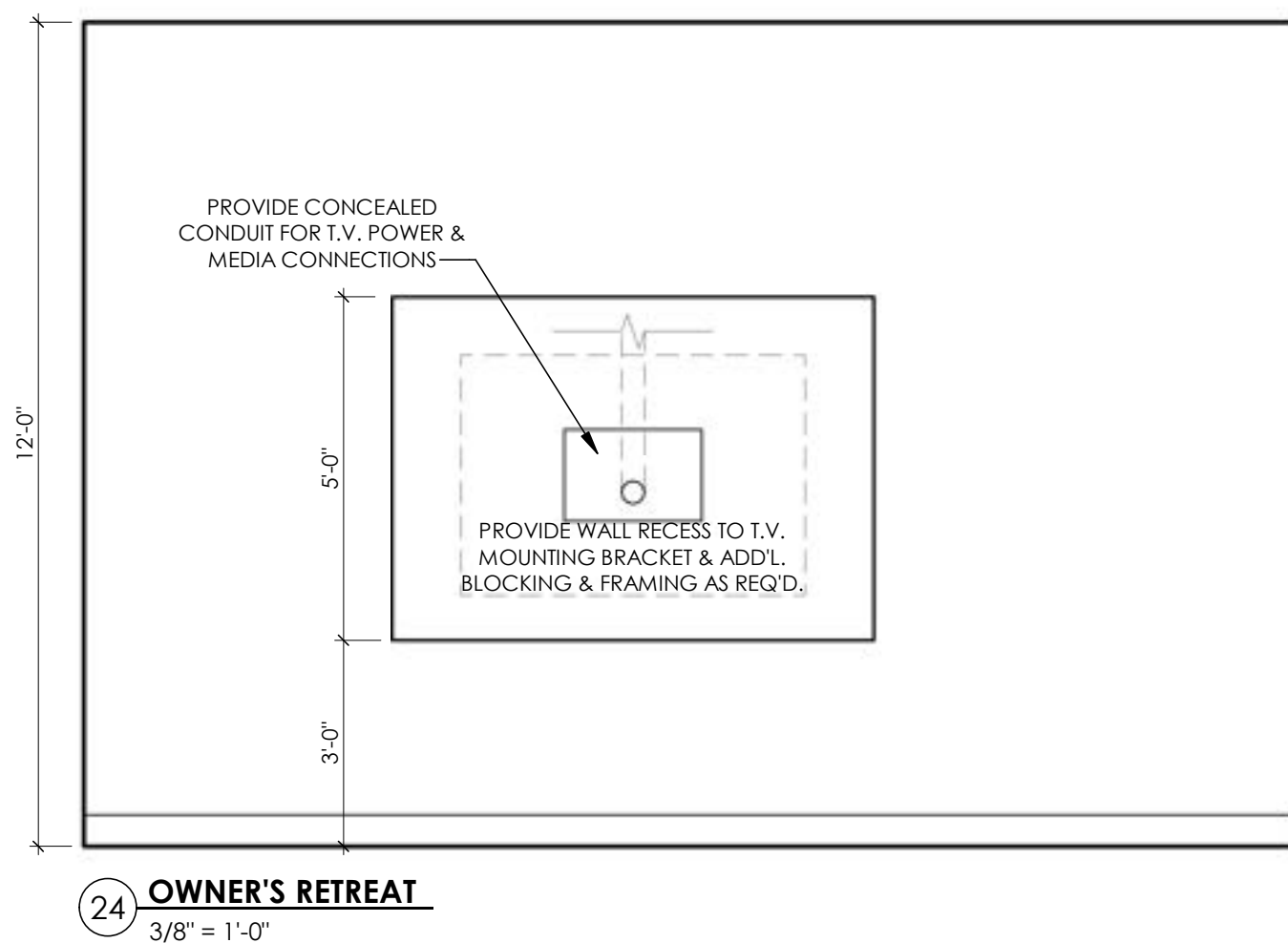
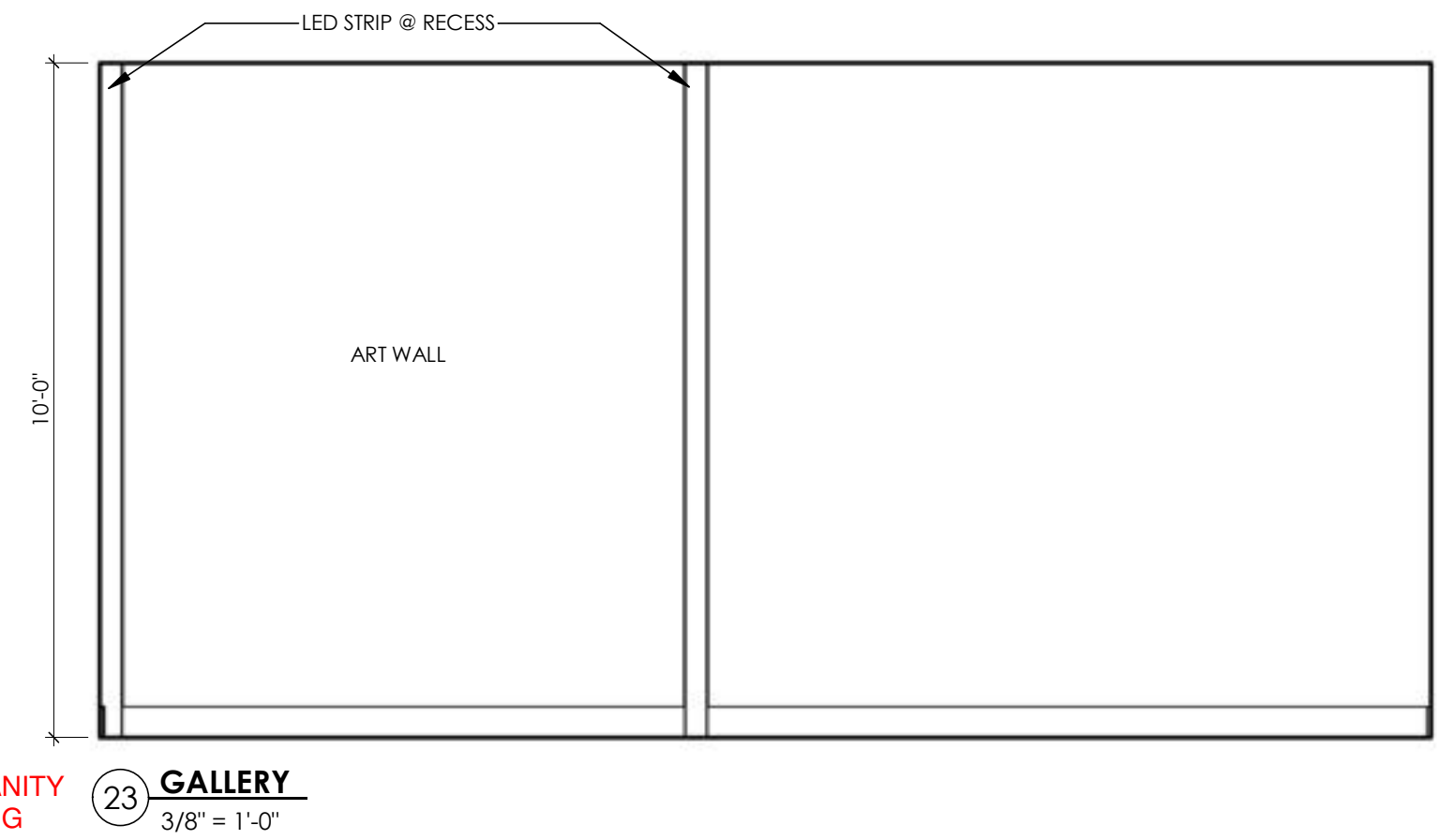
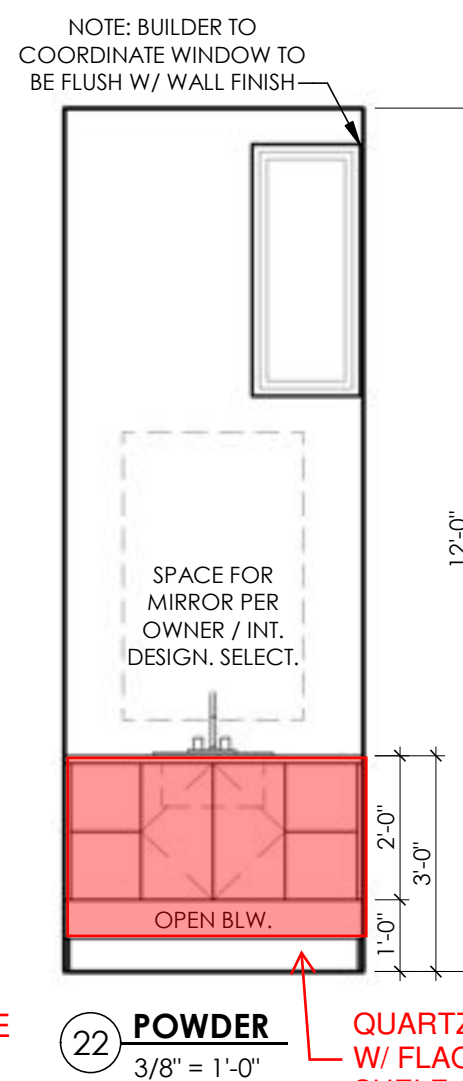
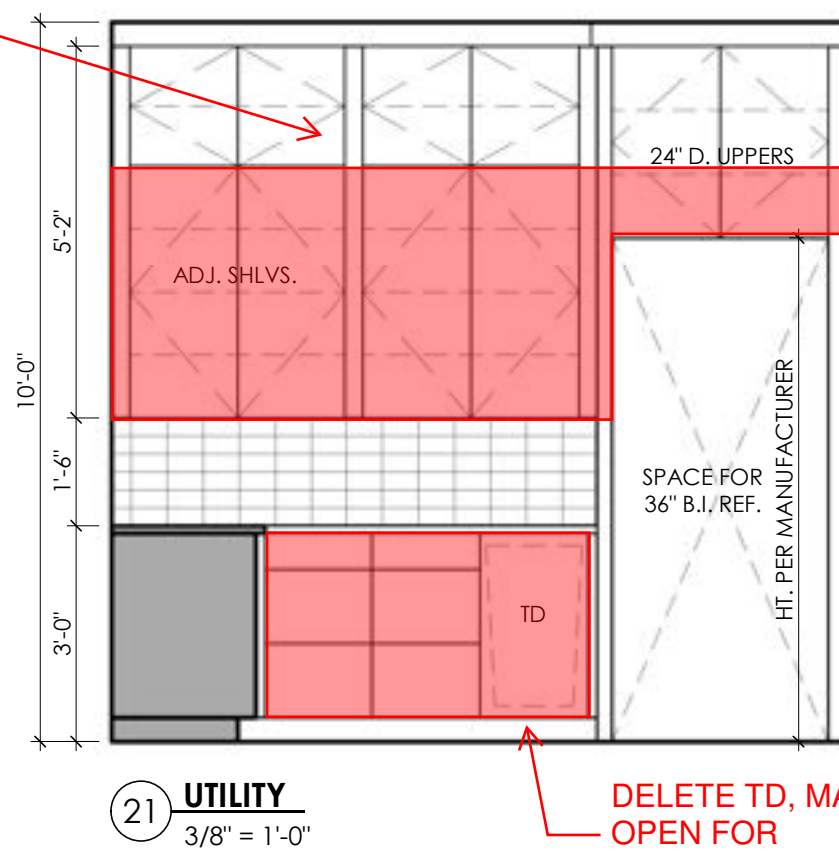
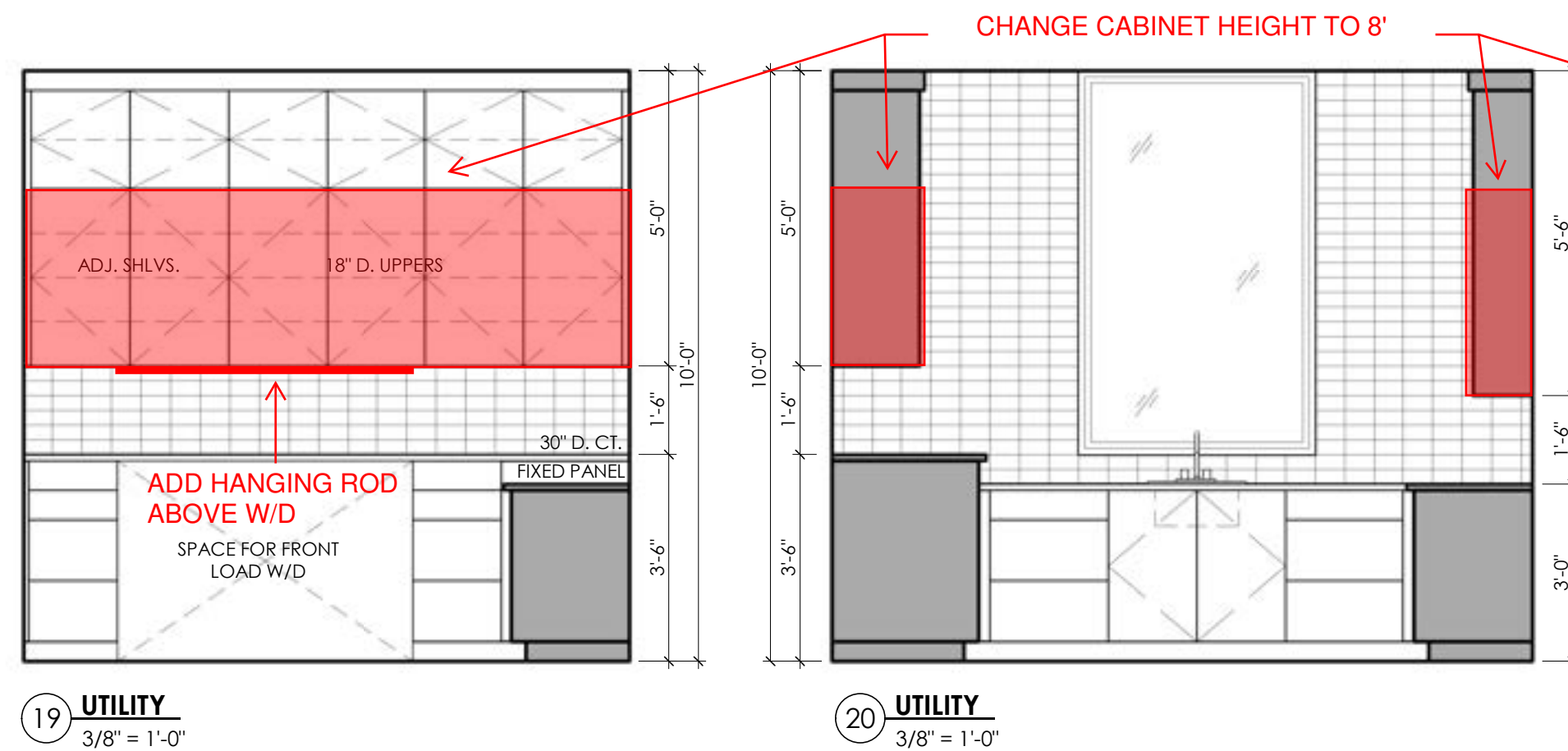
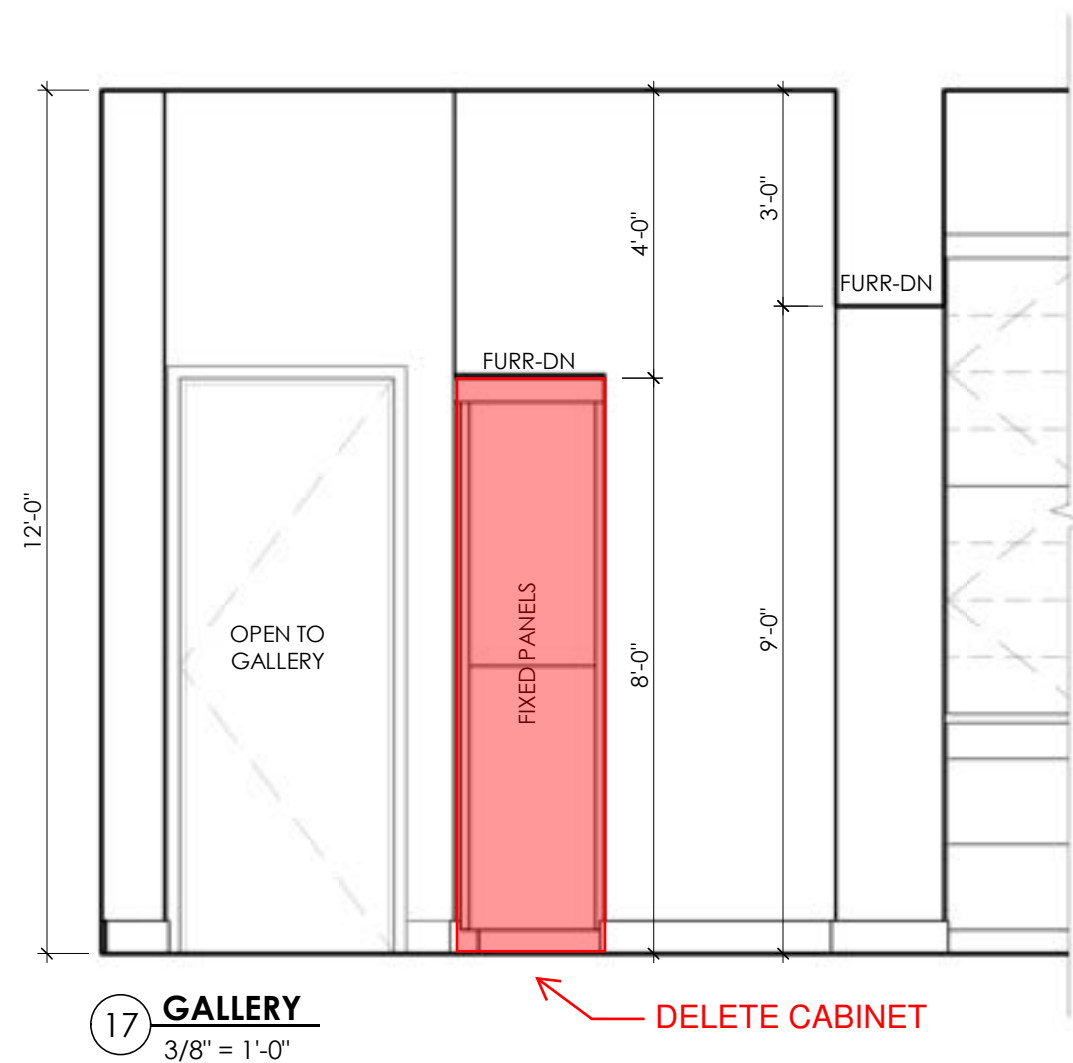
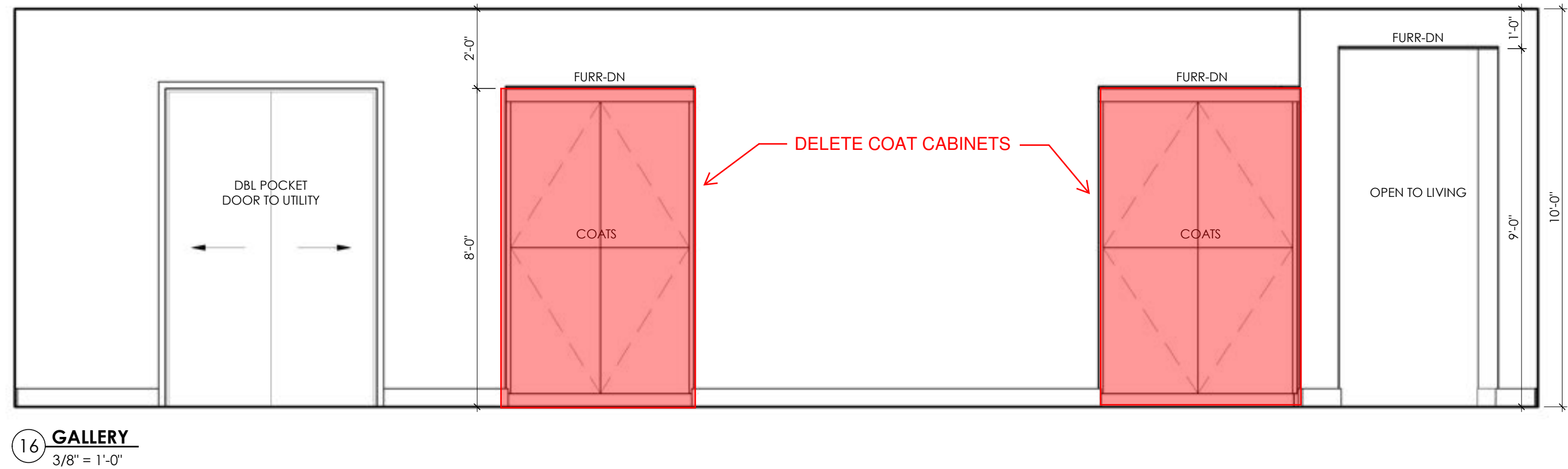
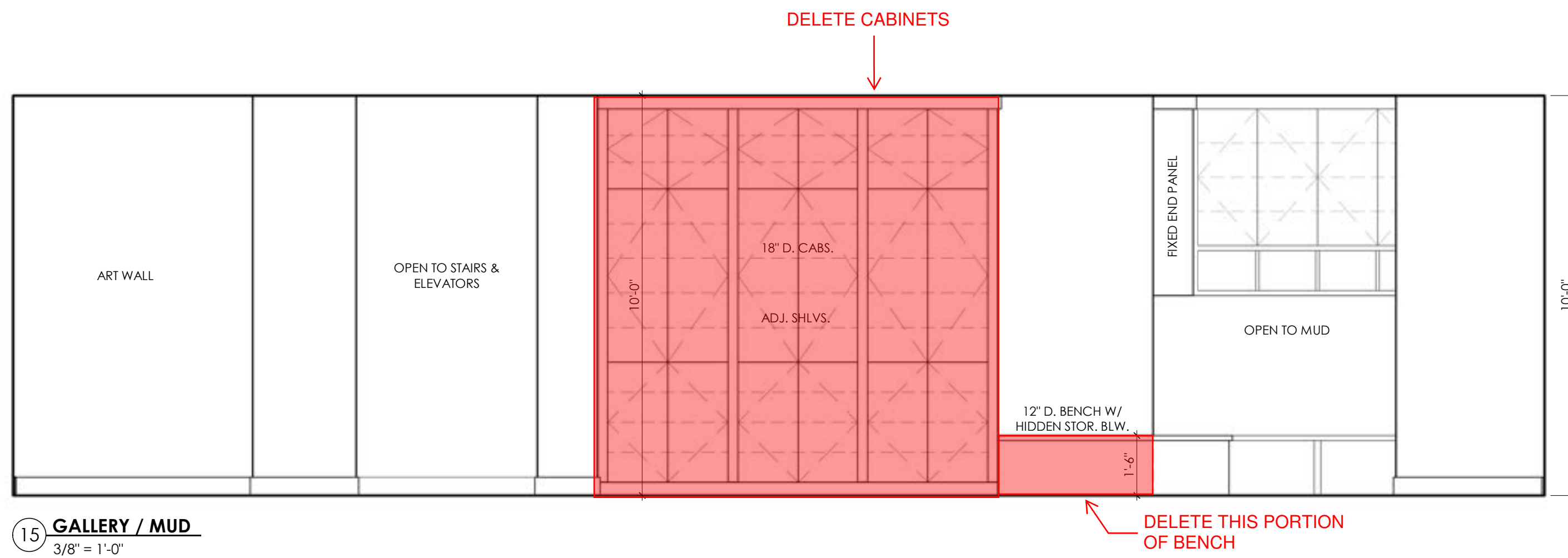
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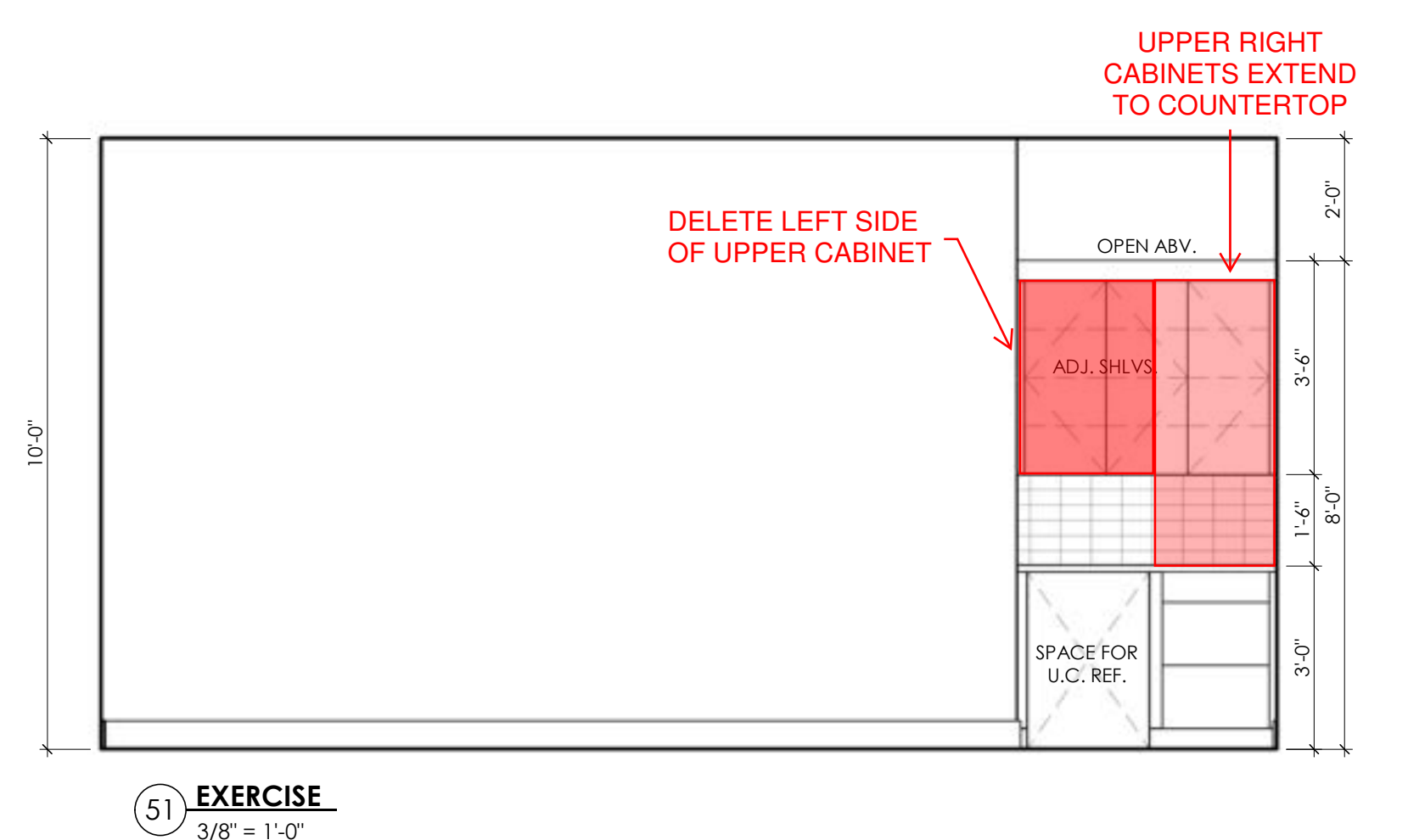
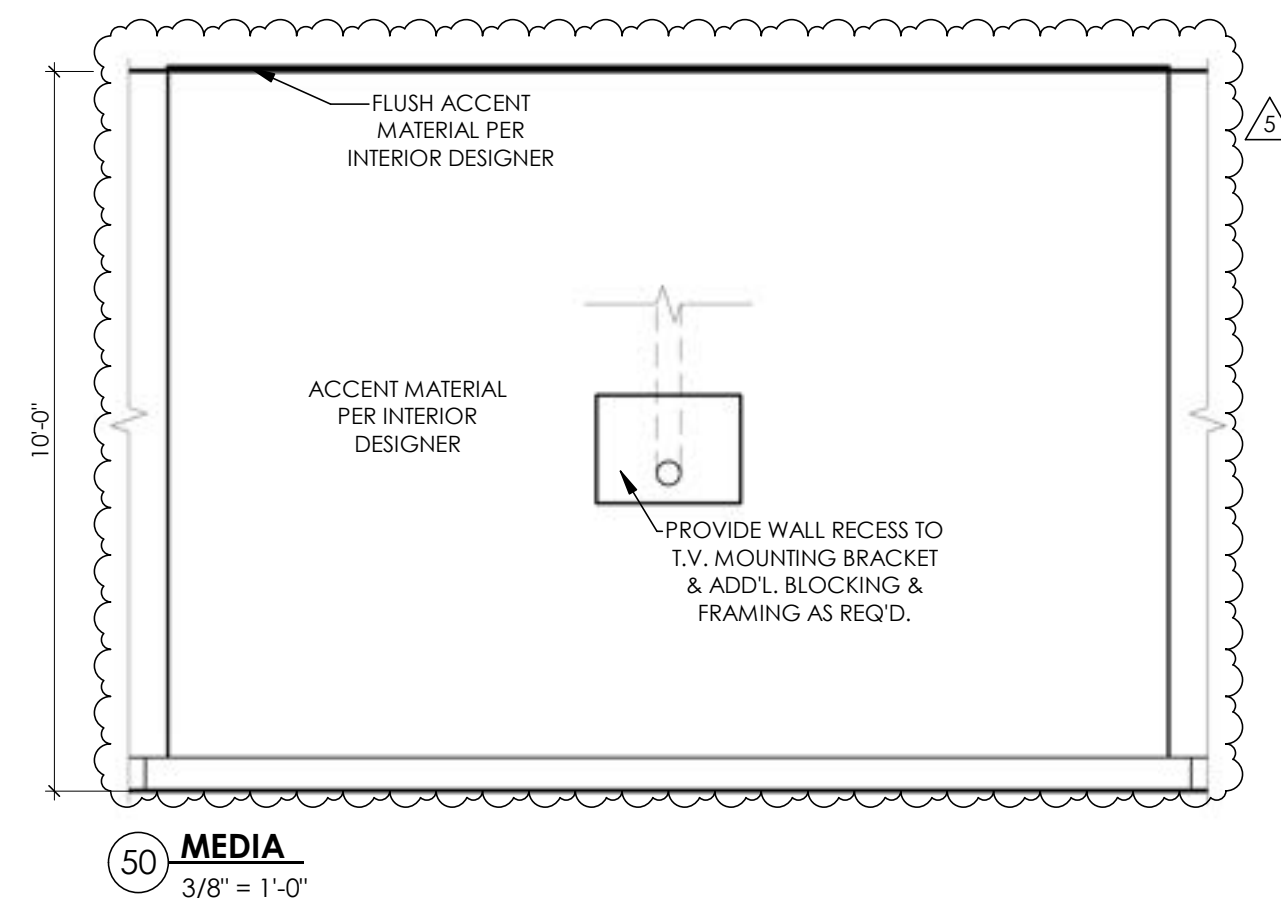
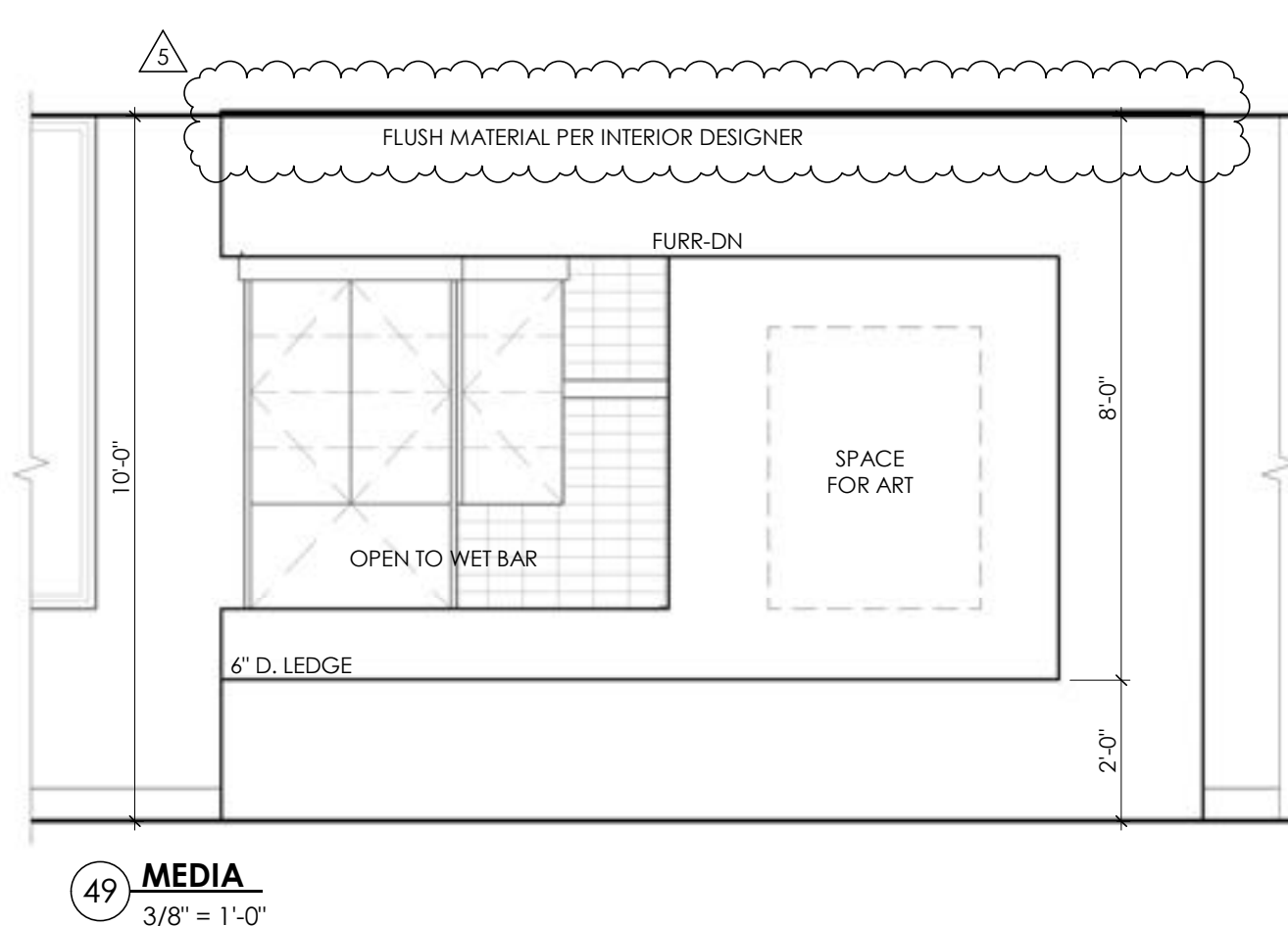
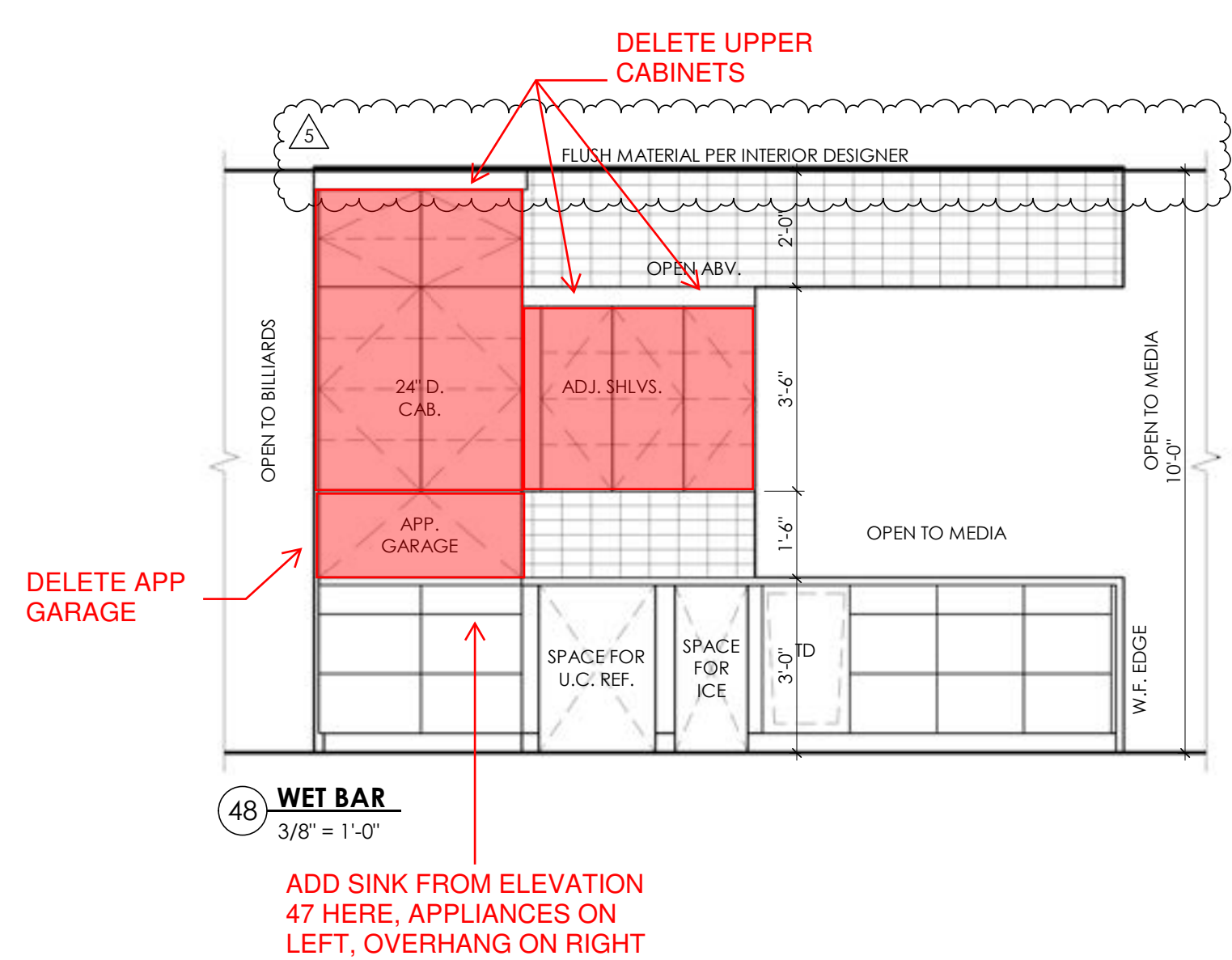
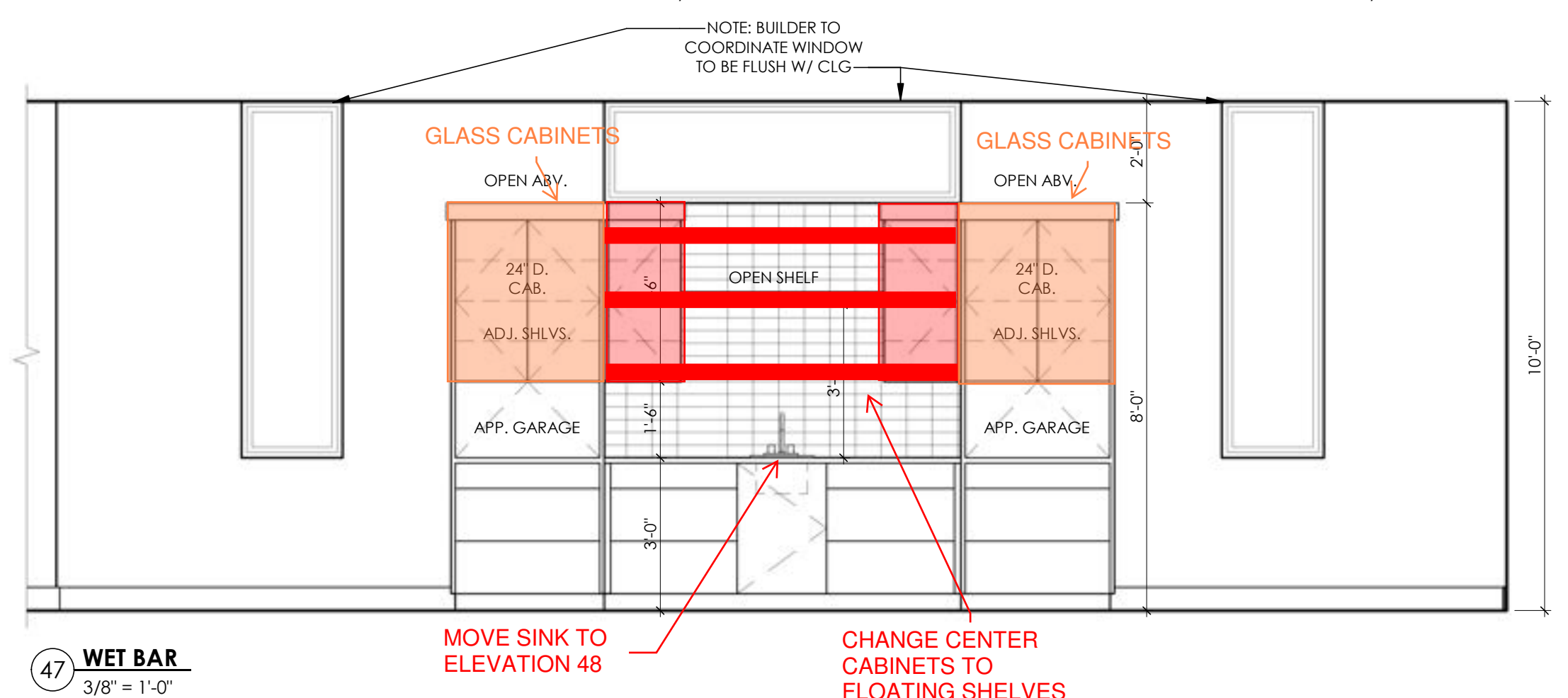
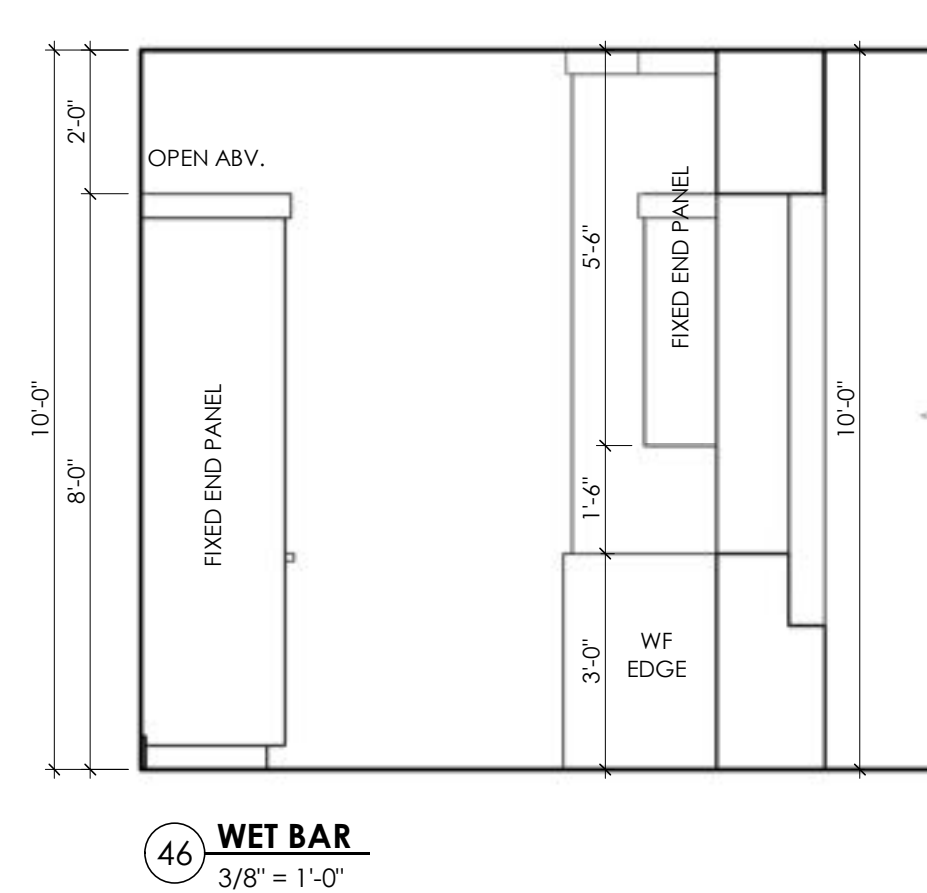
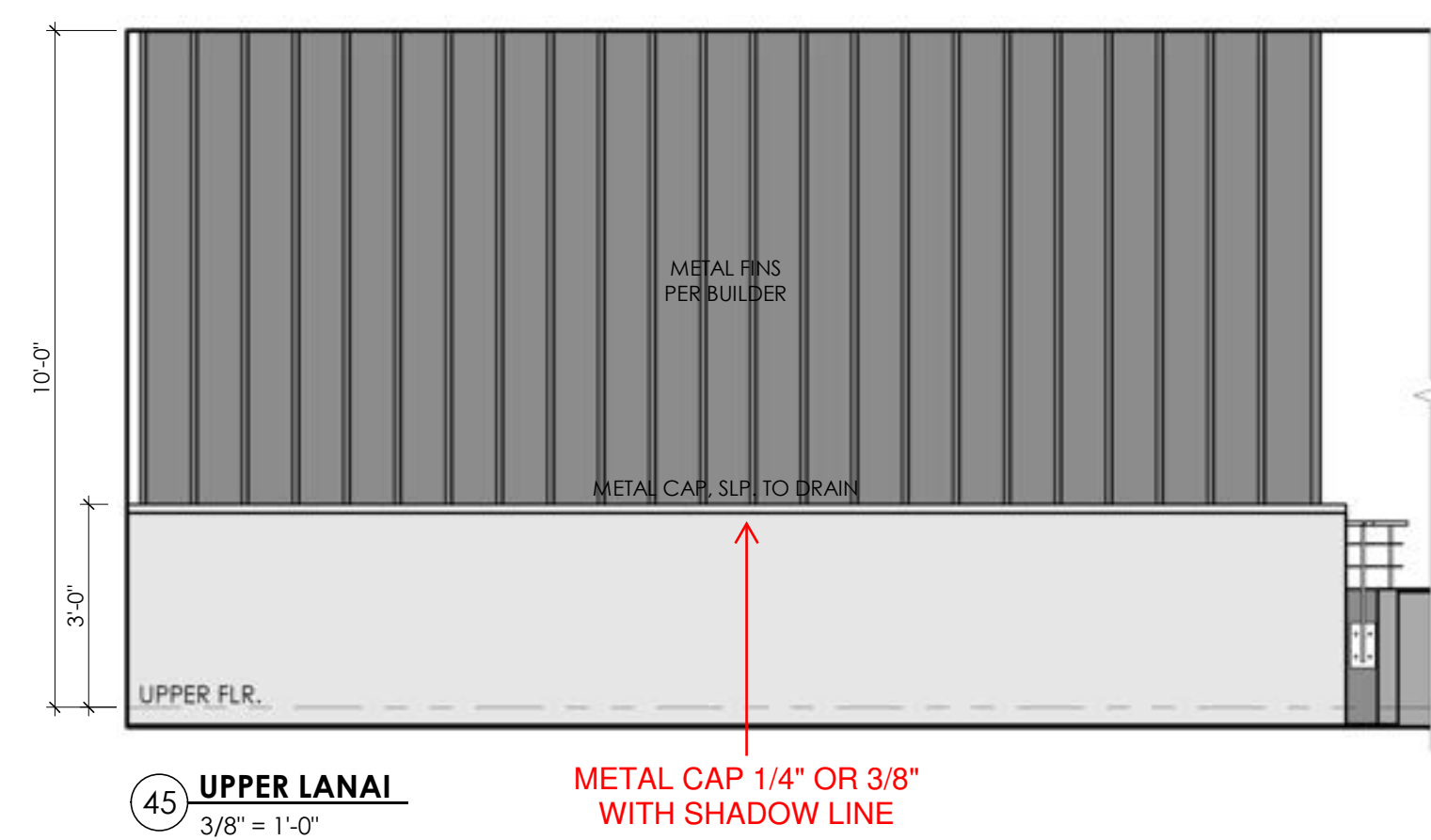
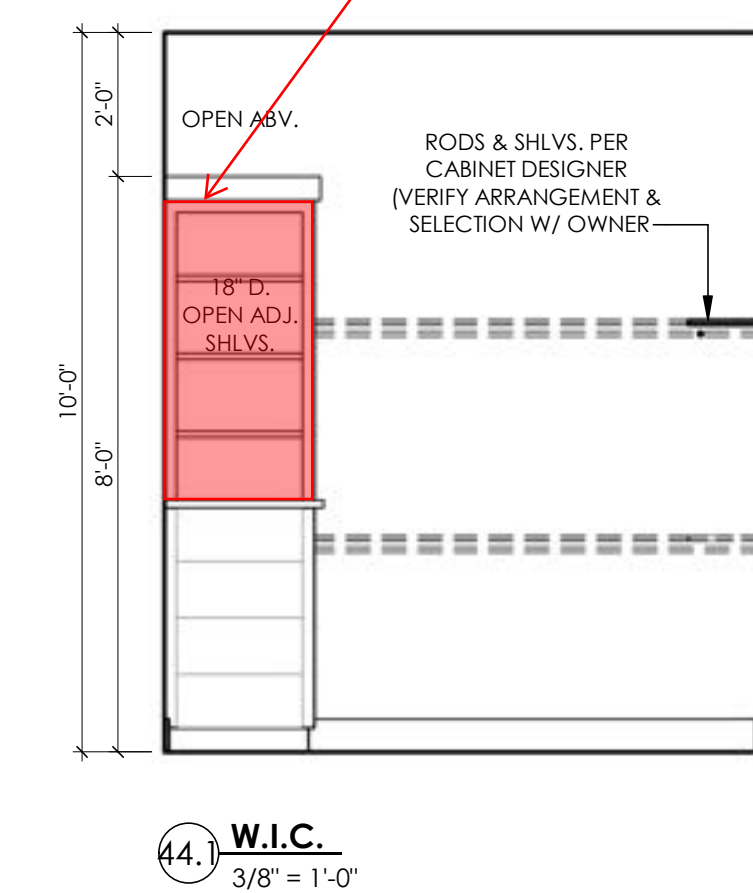
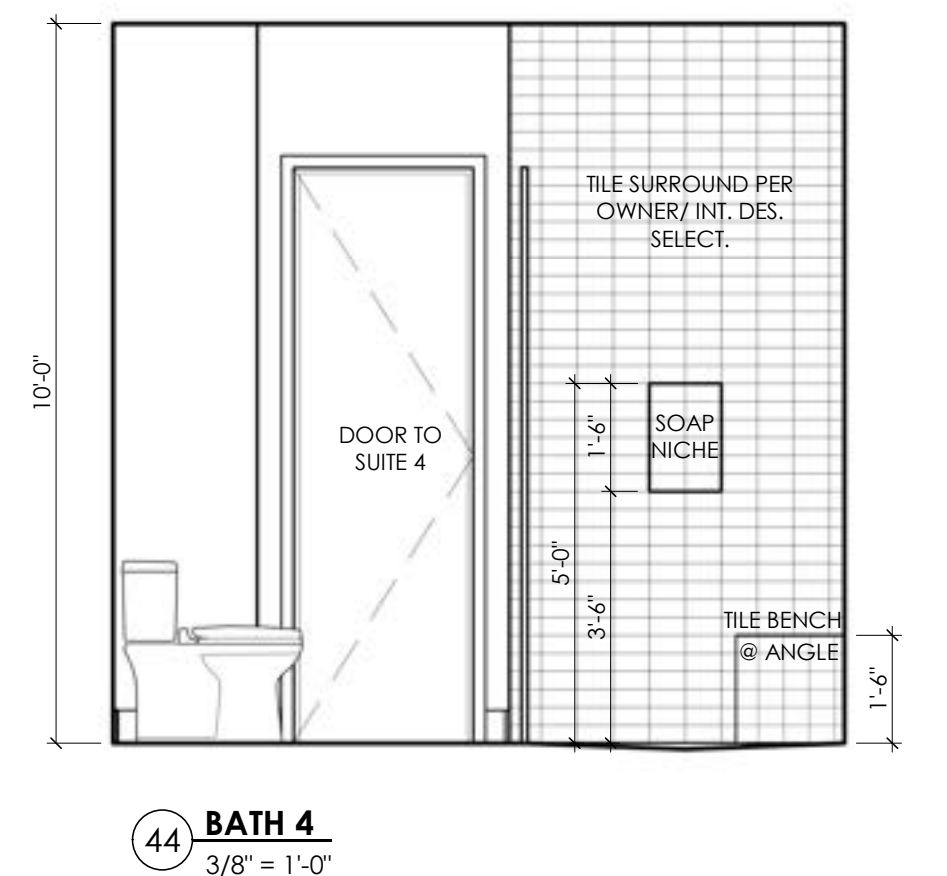
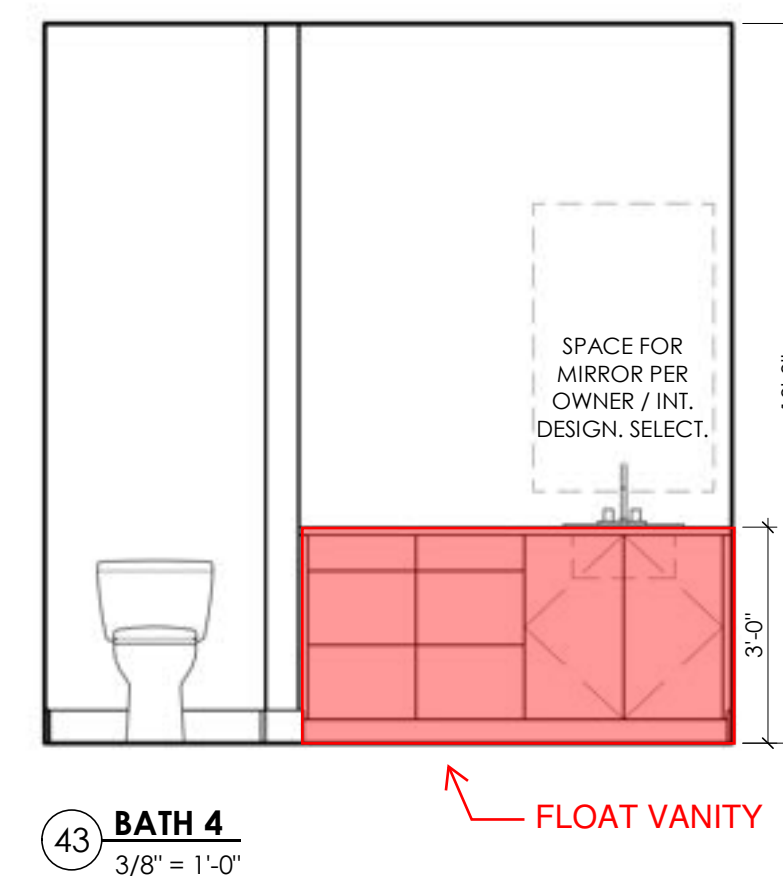
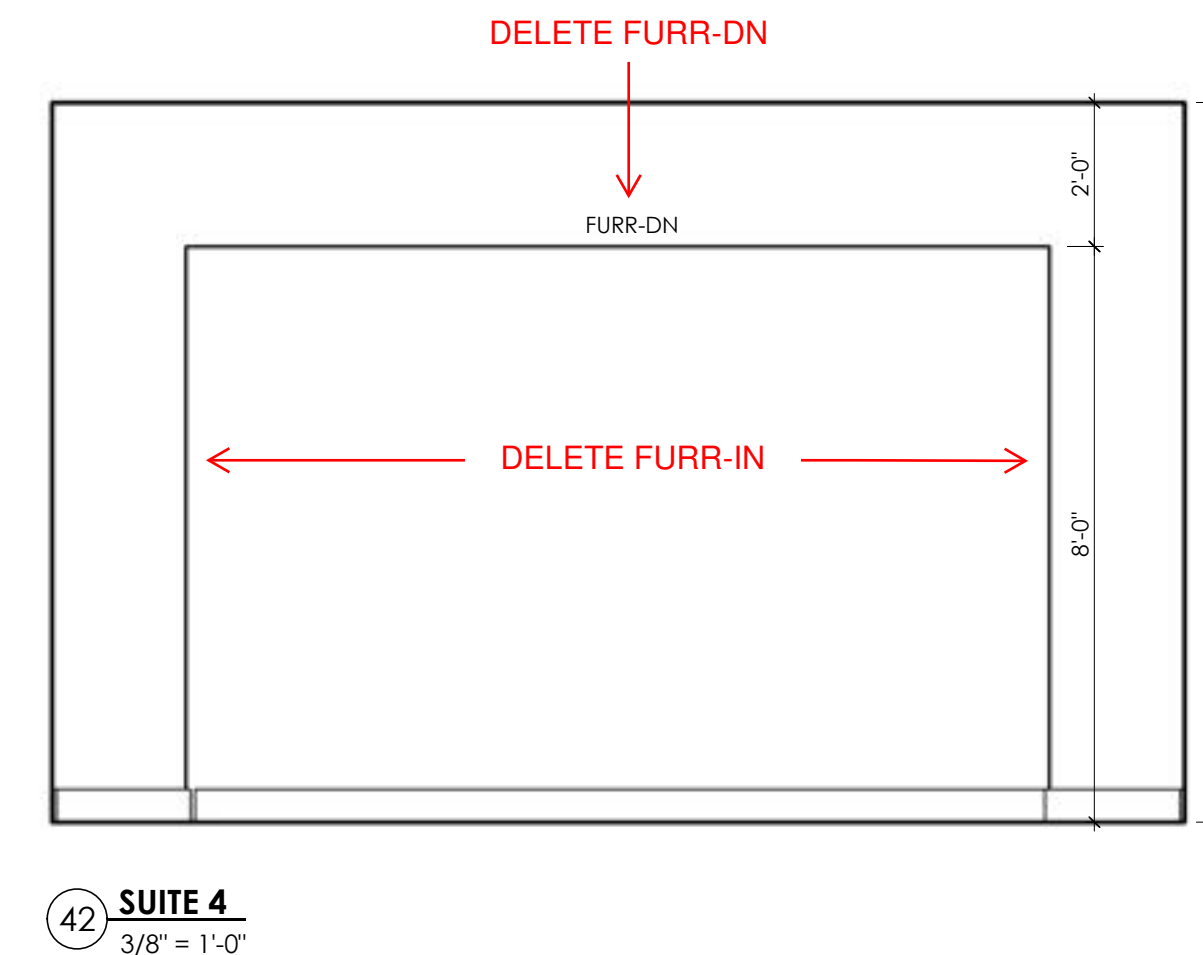
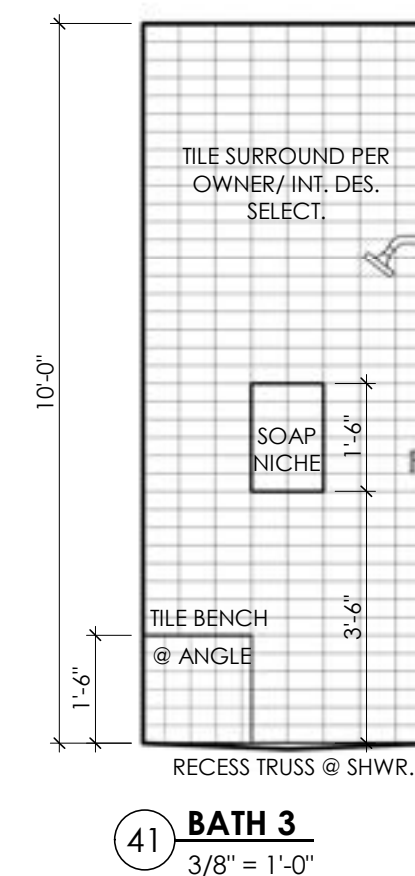
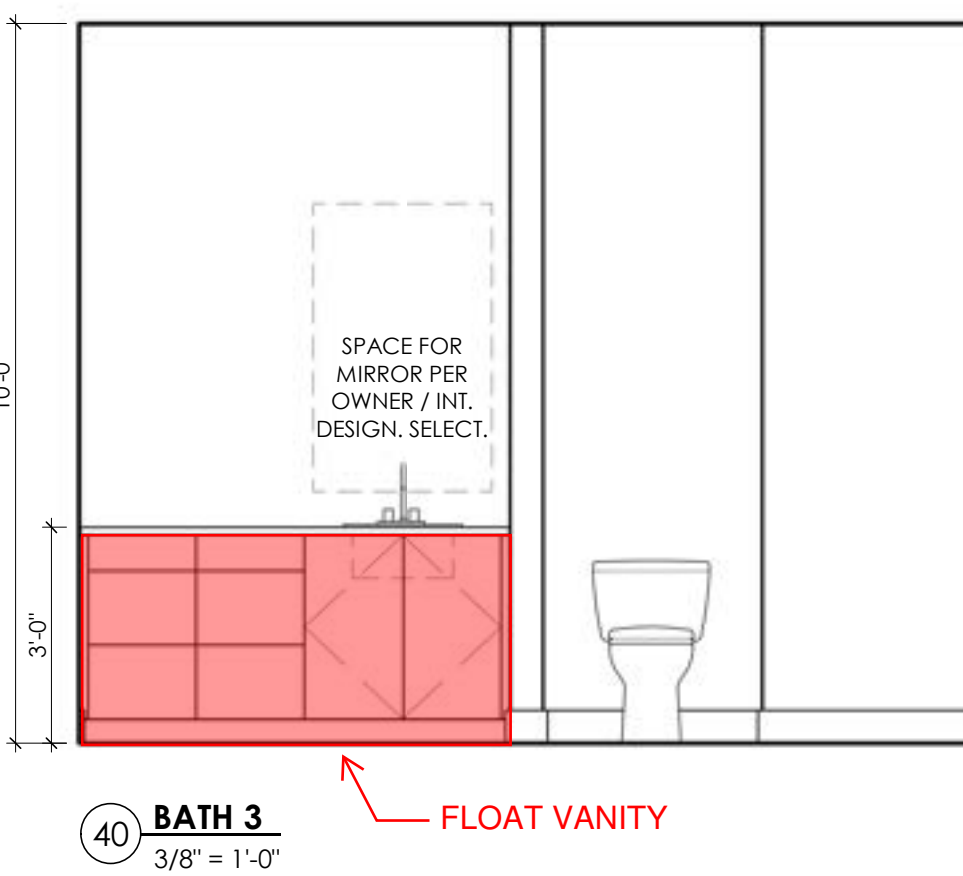
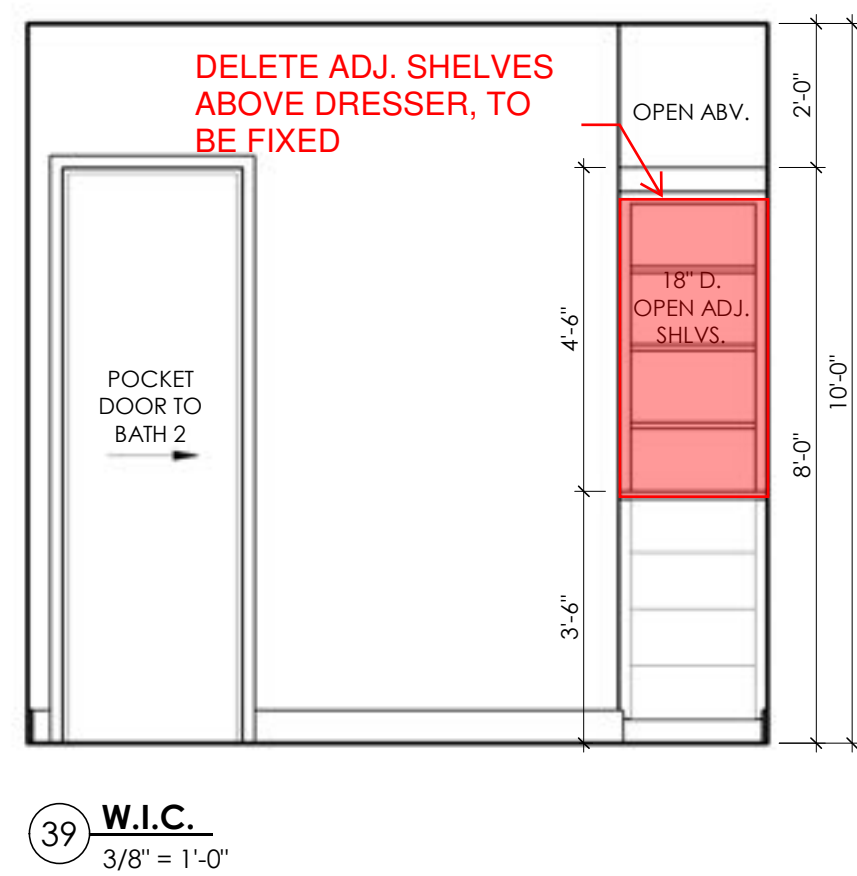
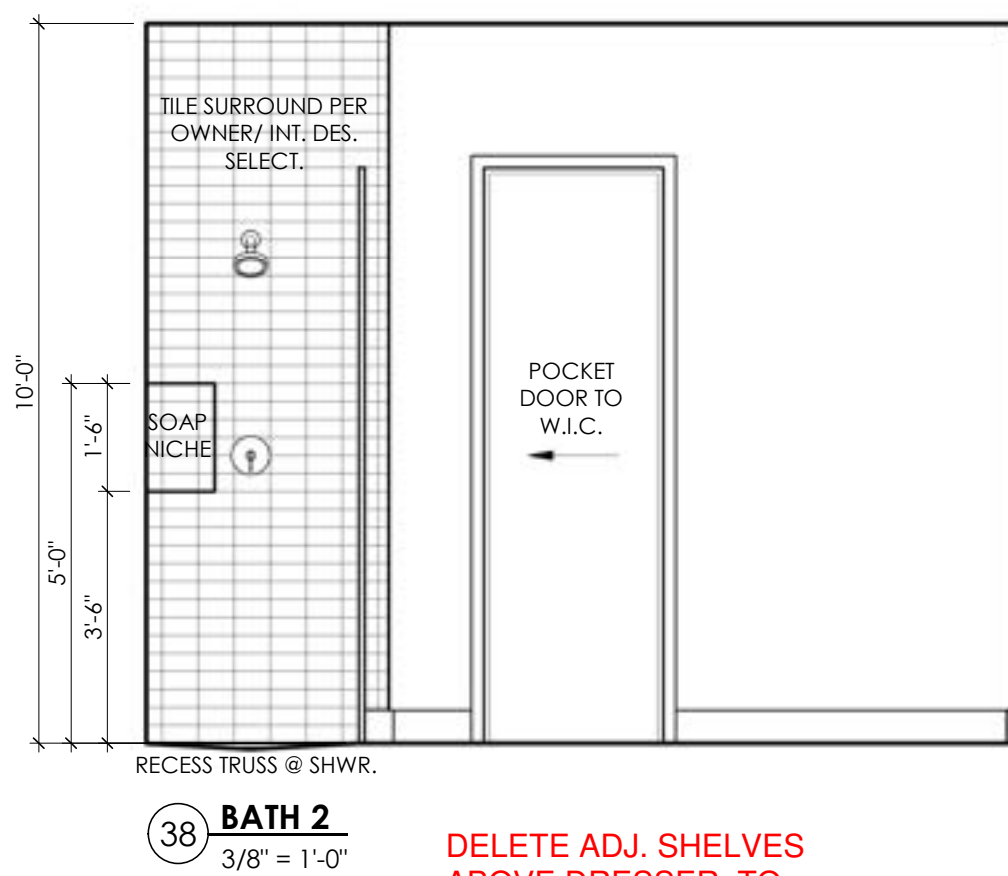
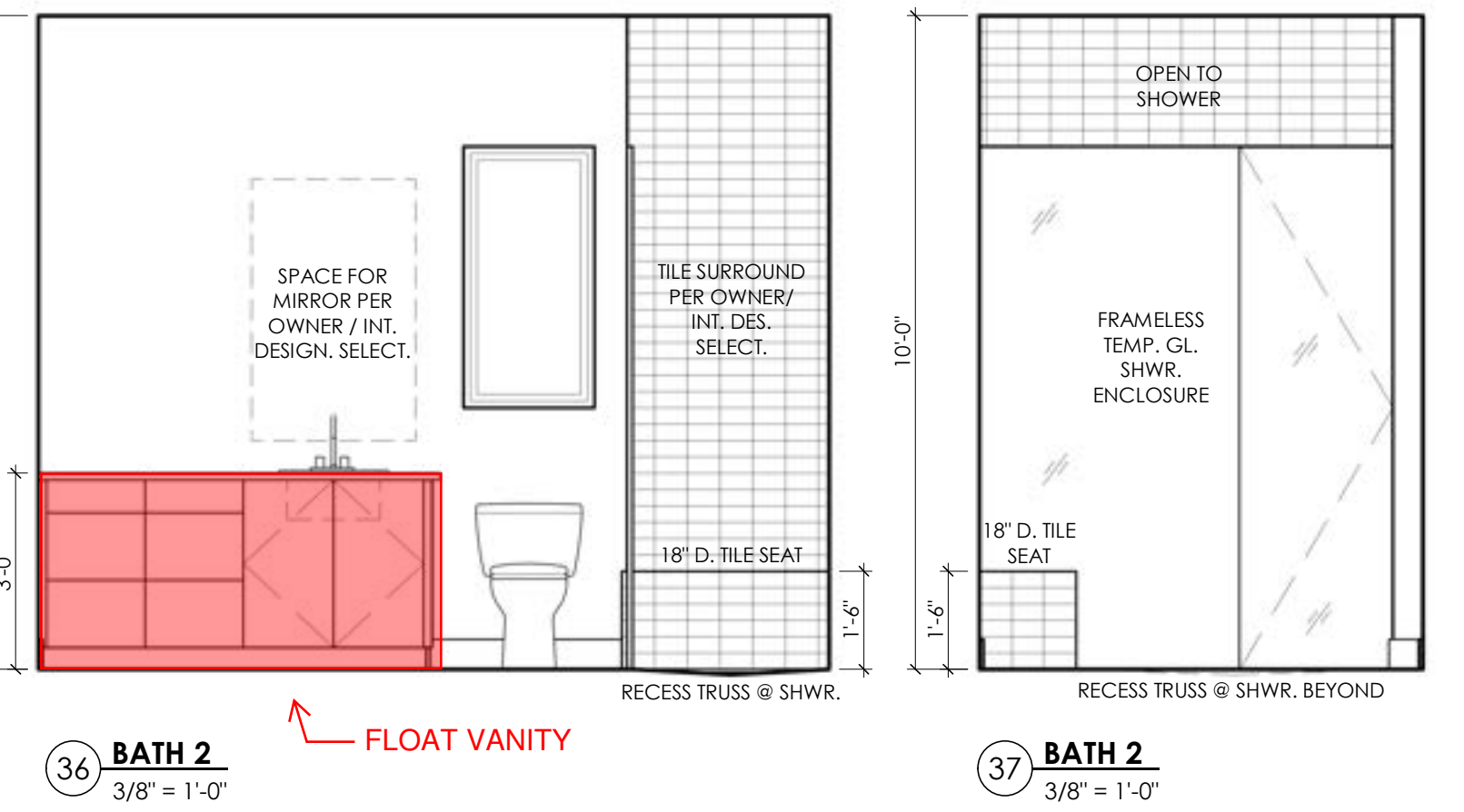
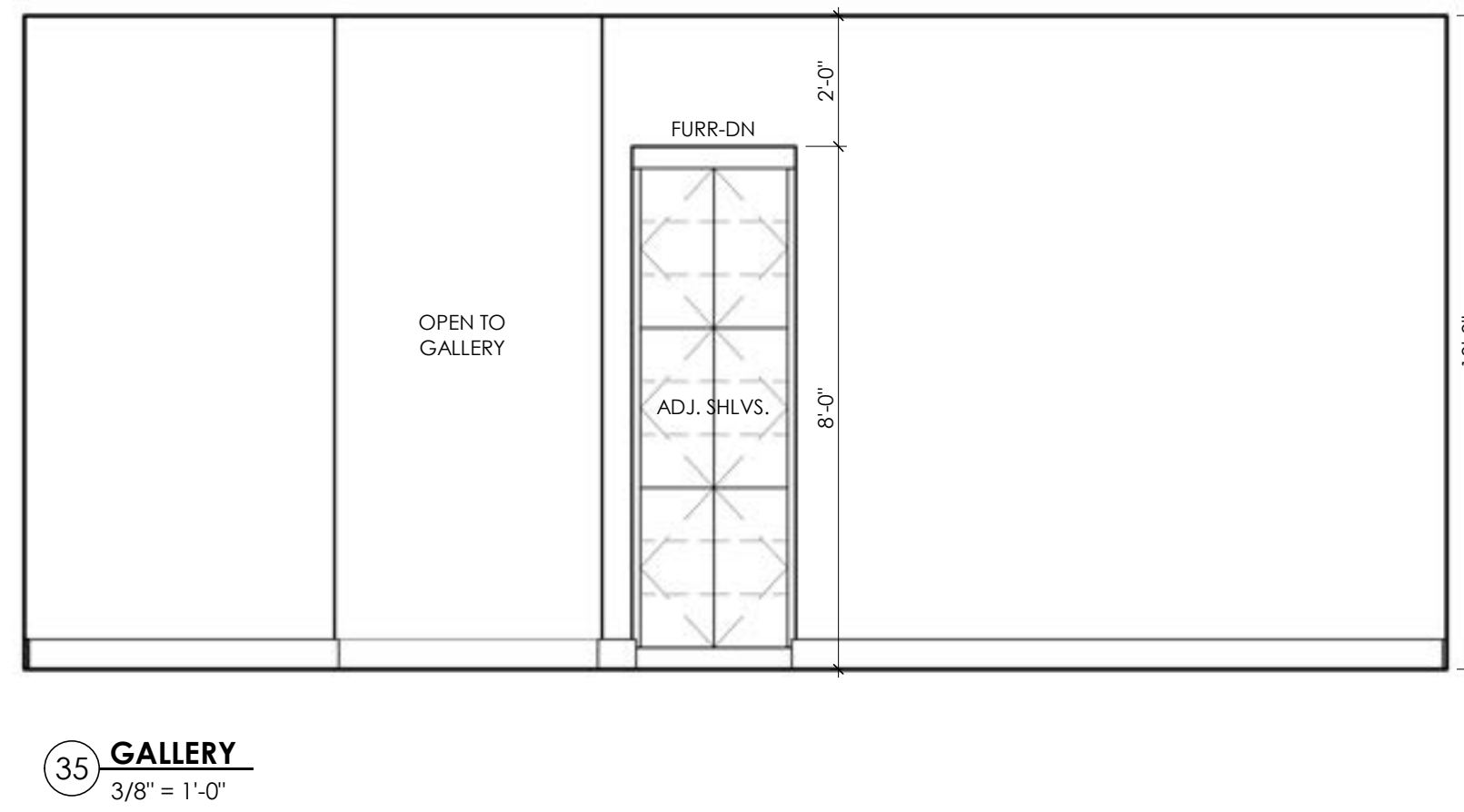
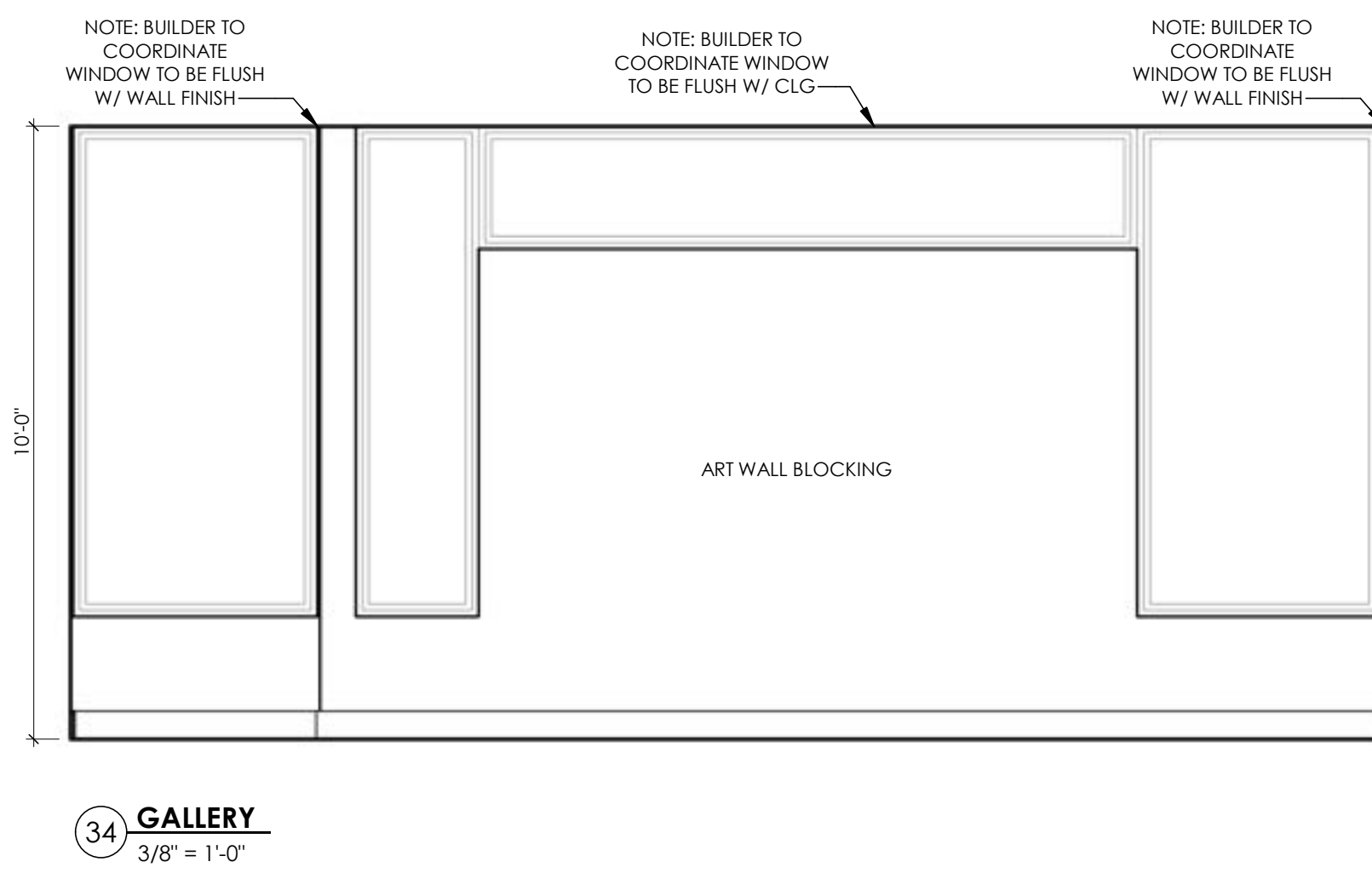
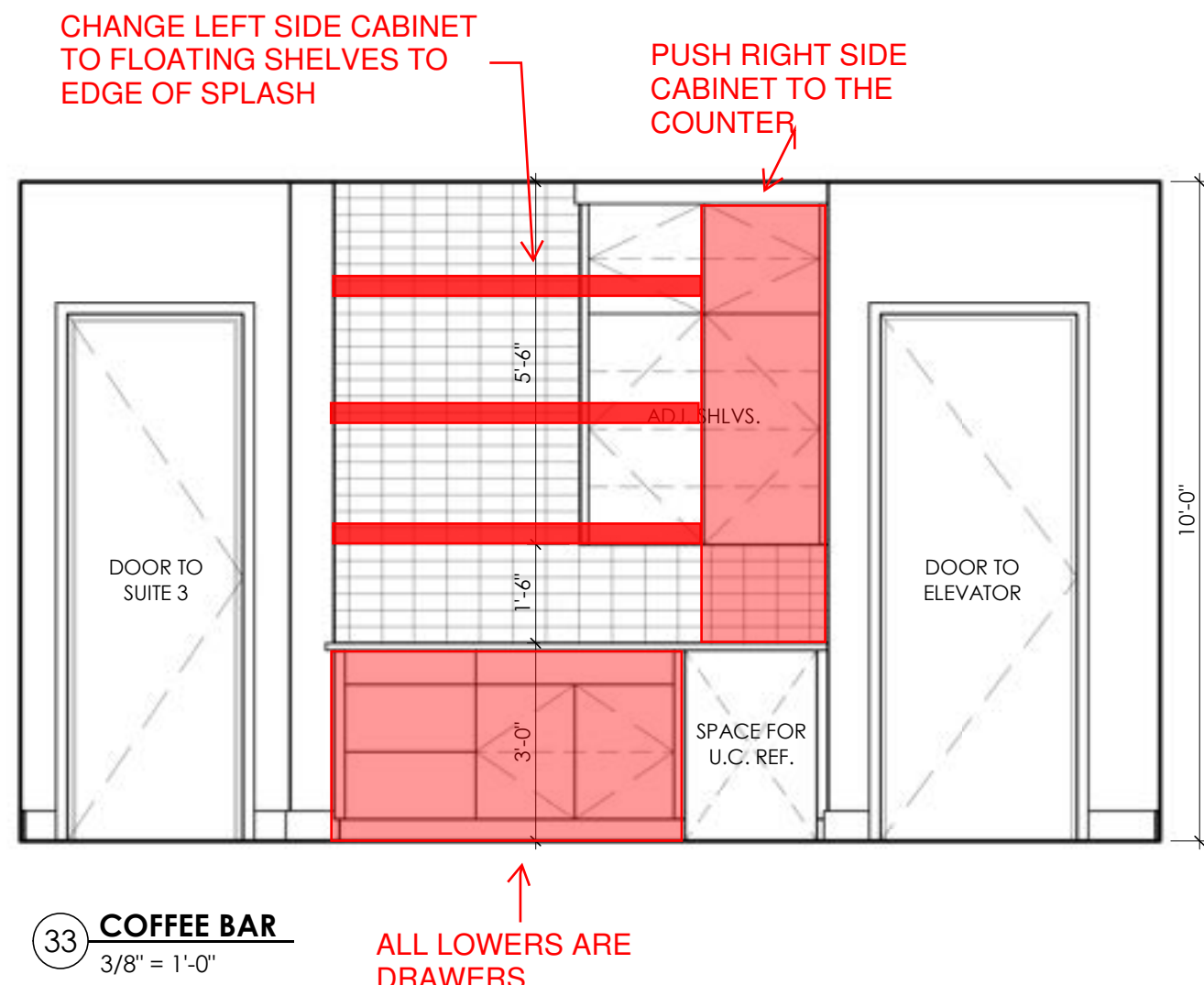
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CORRISSONE ARCHITECTS
STATE OF TEXAS
12193

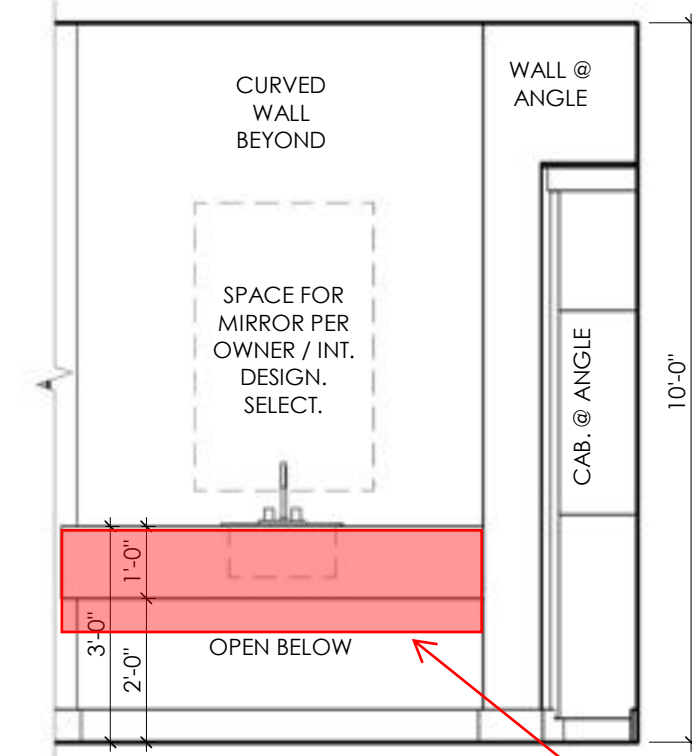
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SHEET: **A13**
13 of 21

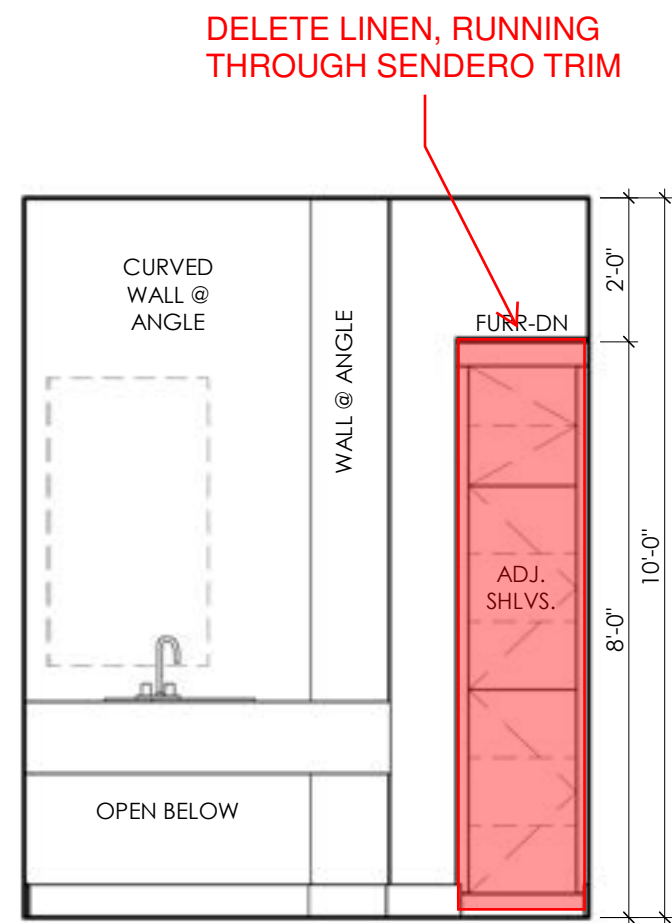
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DRAWN BY: SRK, SE, CC
DATE: 03/09/2022
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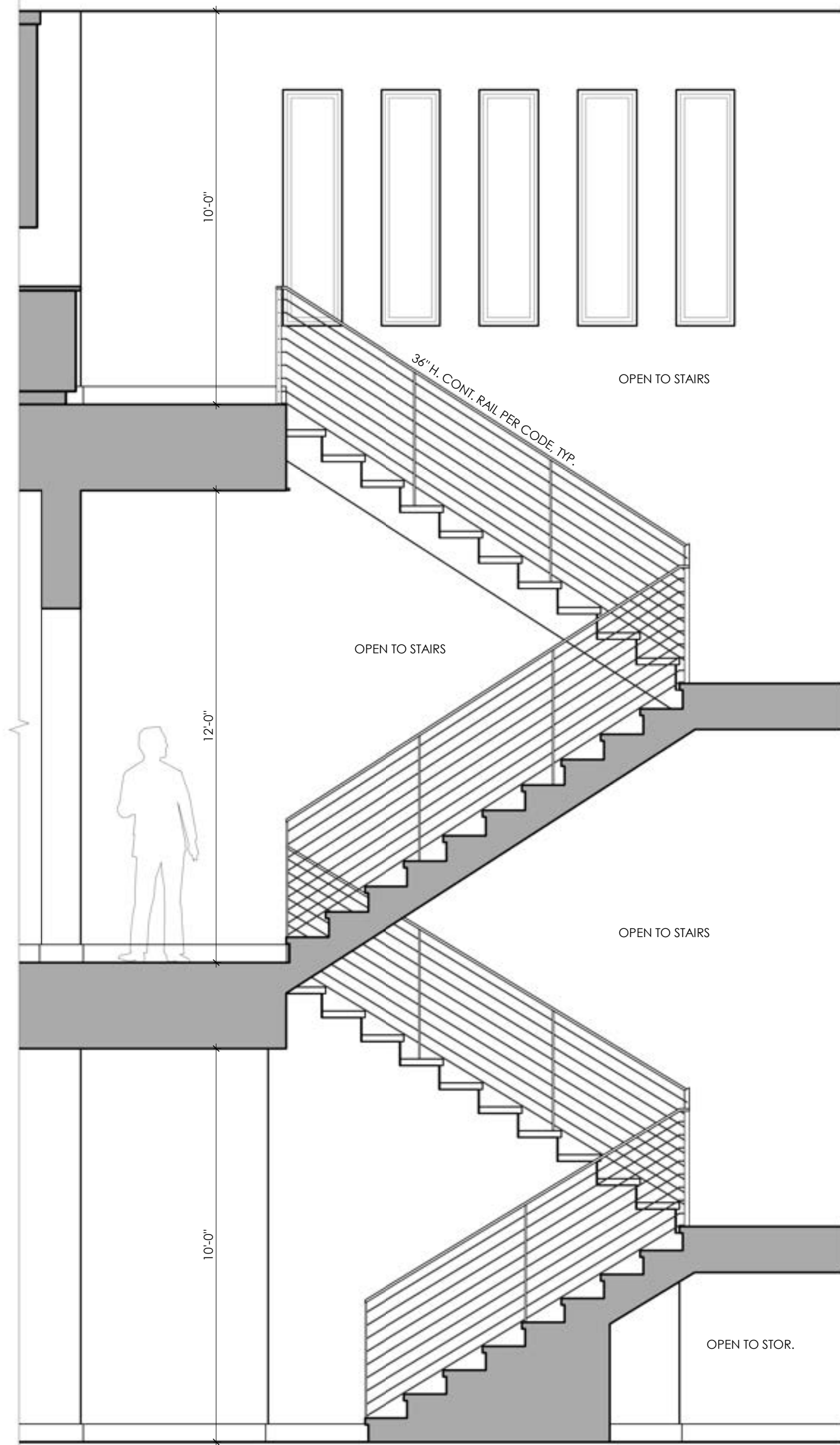




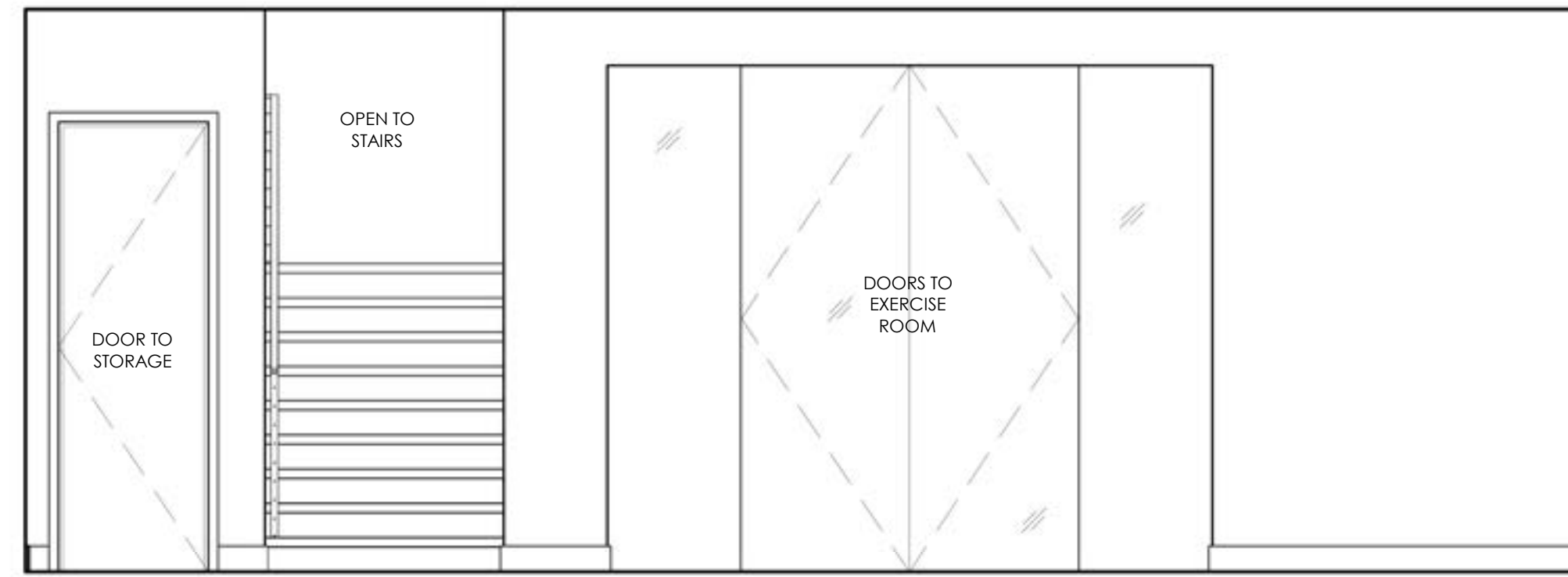
52 CABANA BATH
3/8" = 1'-0"
QUARTZ VANITY W/
FLOATING SHELF



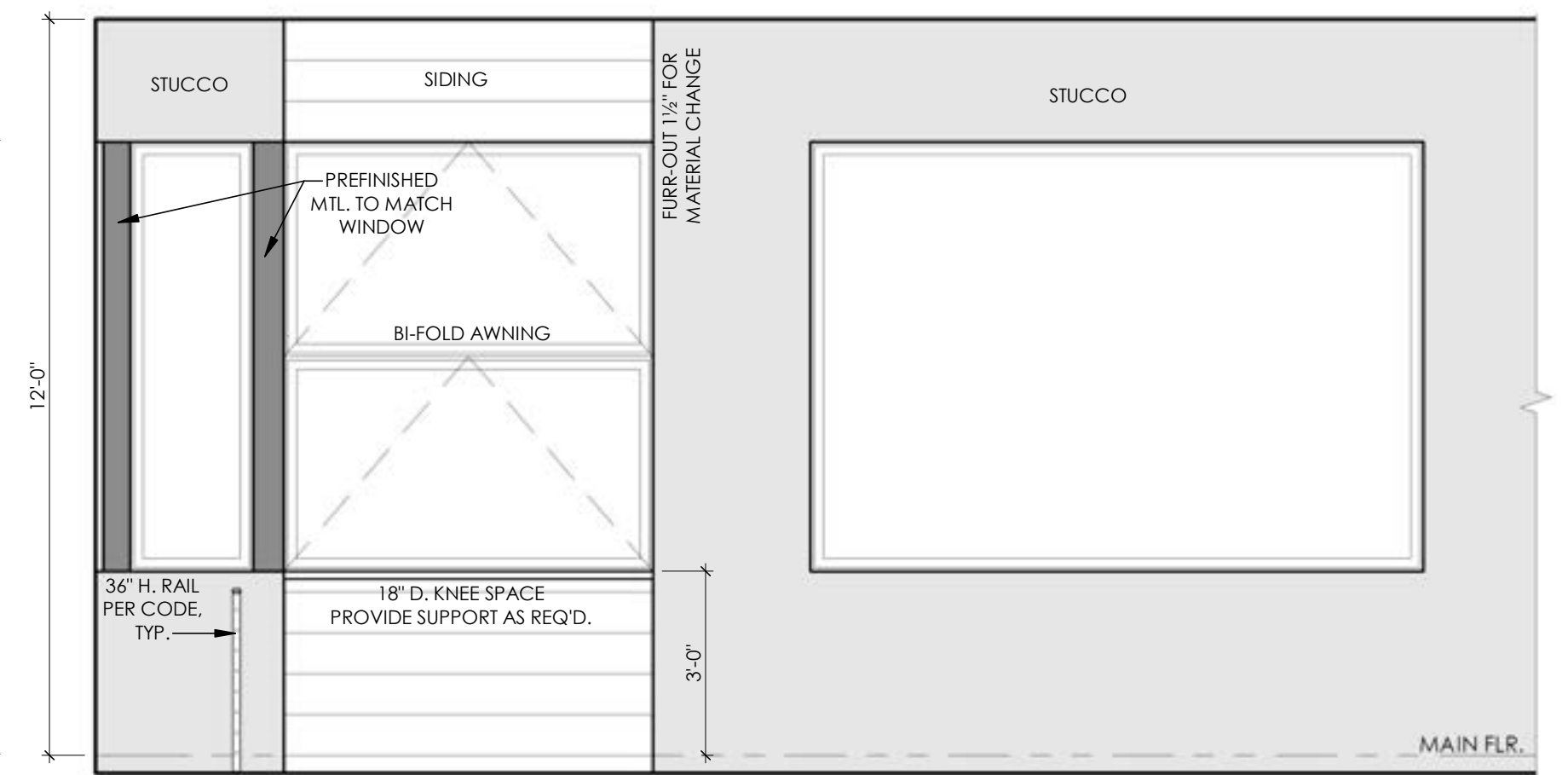
52 CABANA BATH
3/8" = 1'-0"
DELETE LINEN, RUNNING
THROUGH SENDERO TRIM



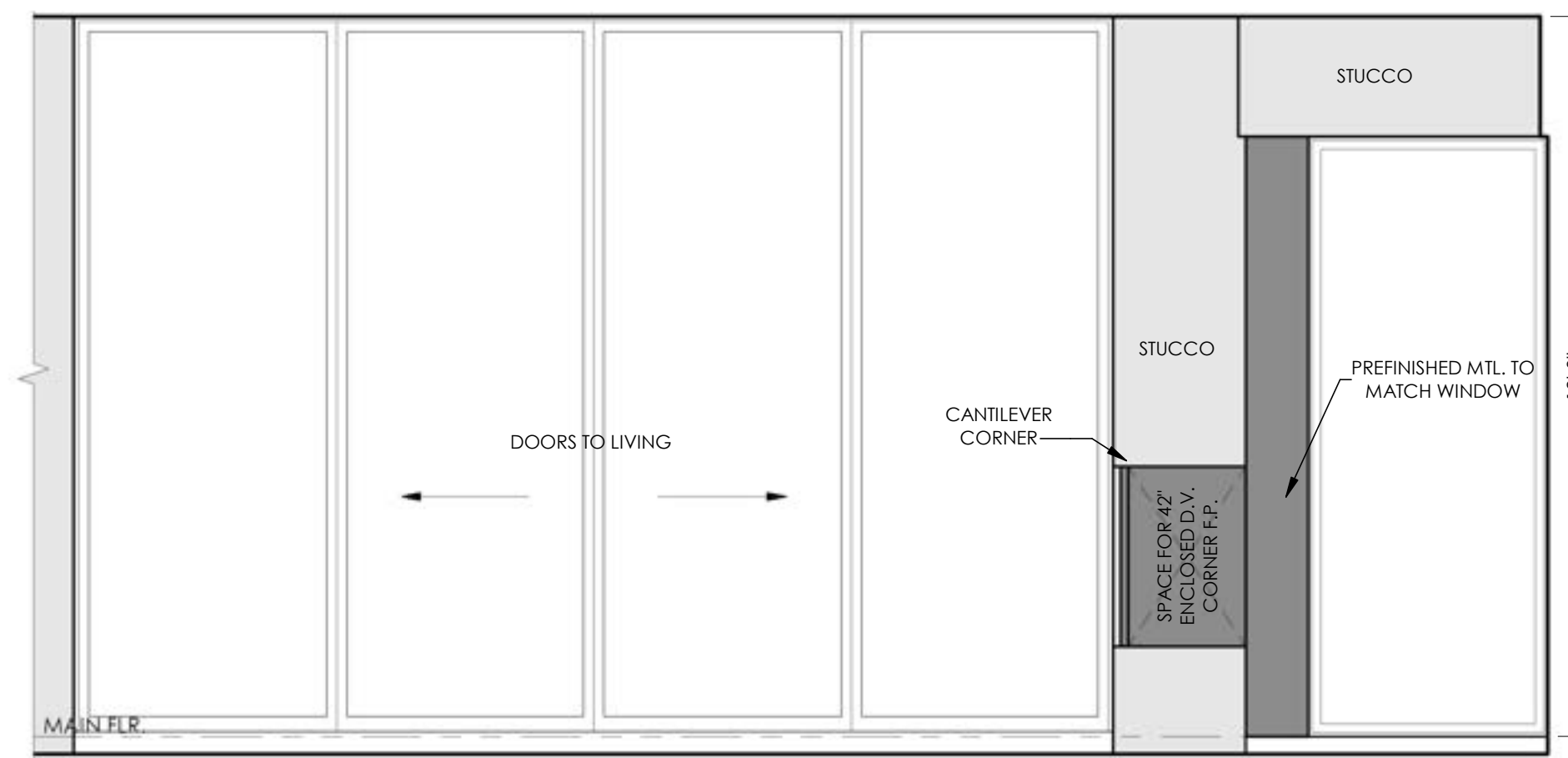
53 STAIRS
3/8" = 1'-0"



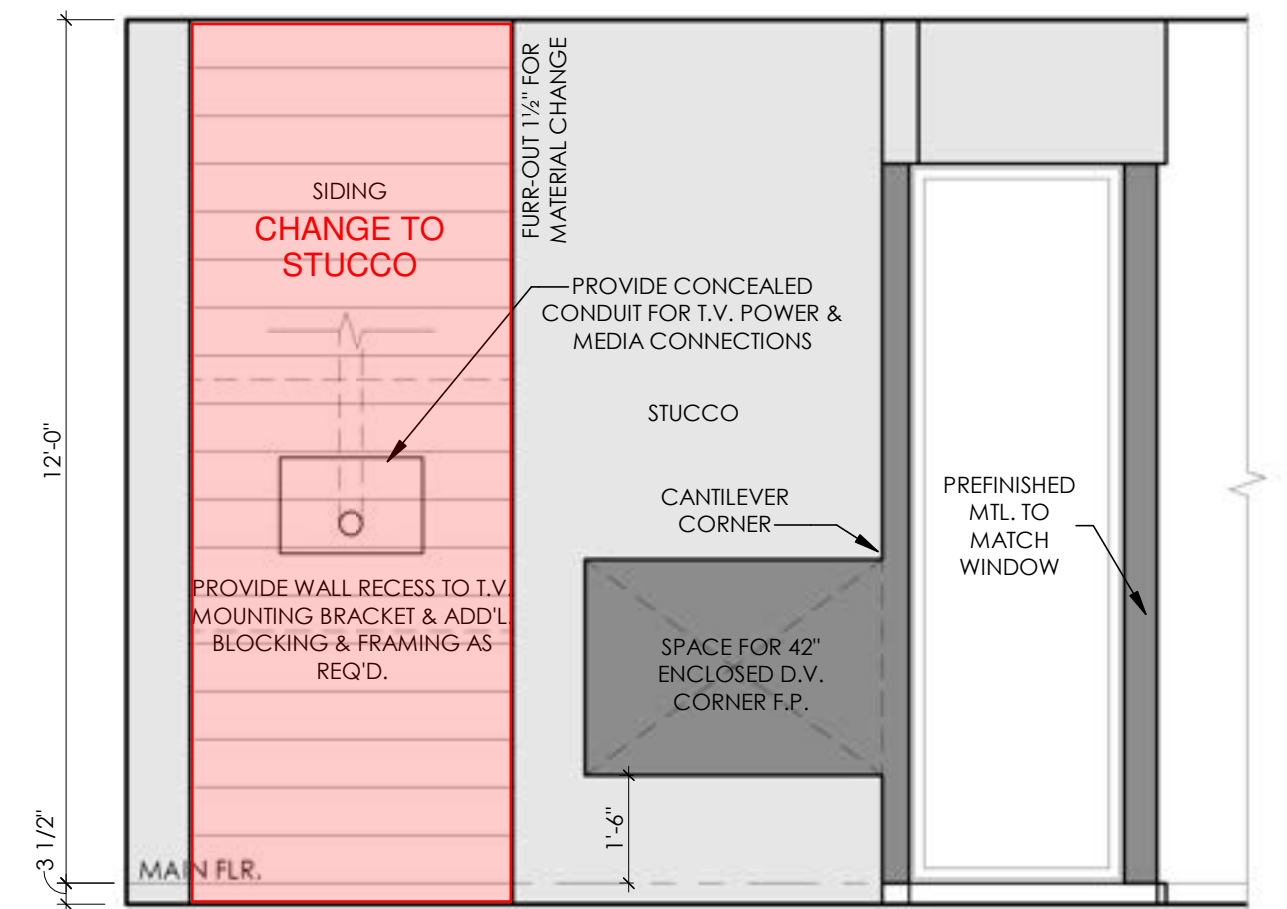
54 BILLIARDS
3/8" = 1'-0"



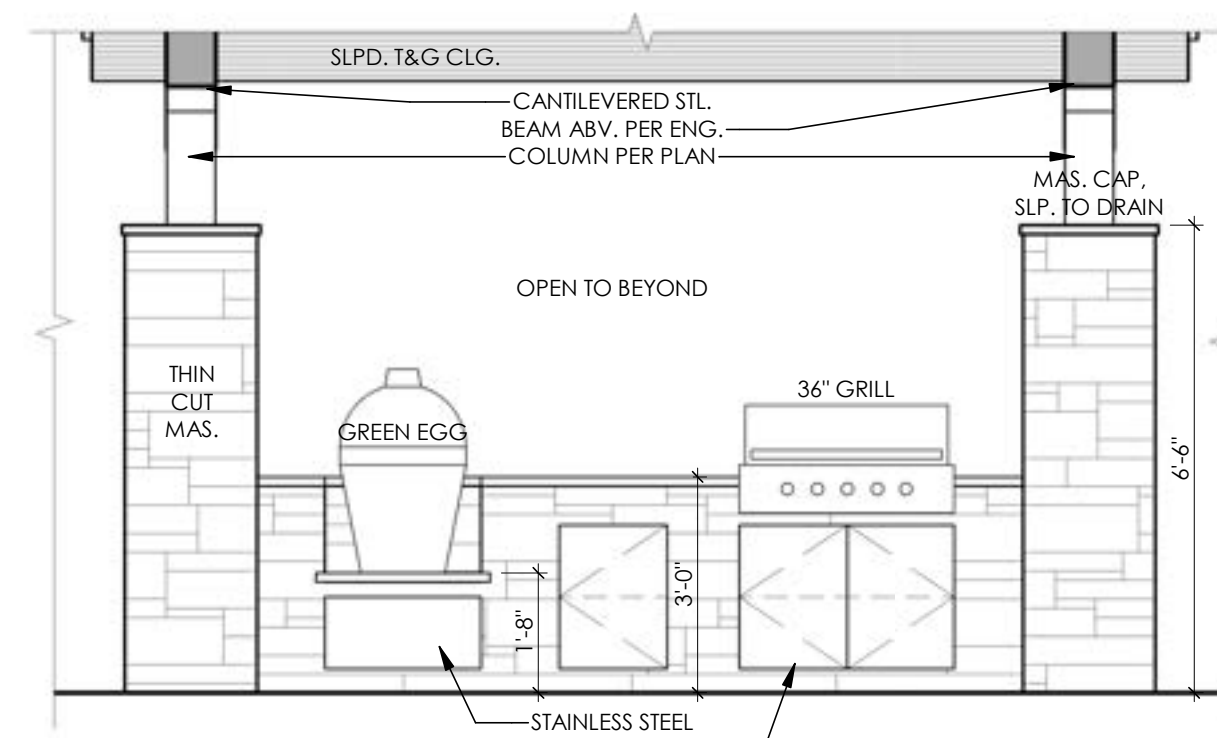
55 COV'D LANAI
3/8" = 1'-0"



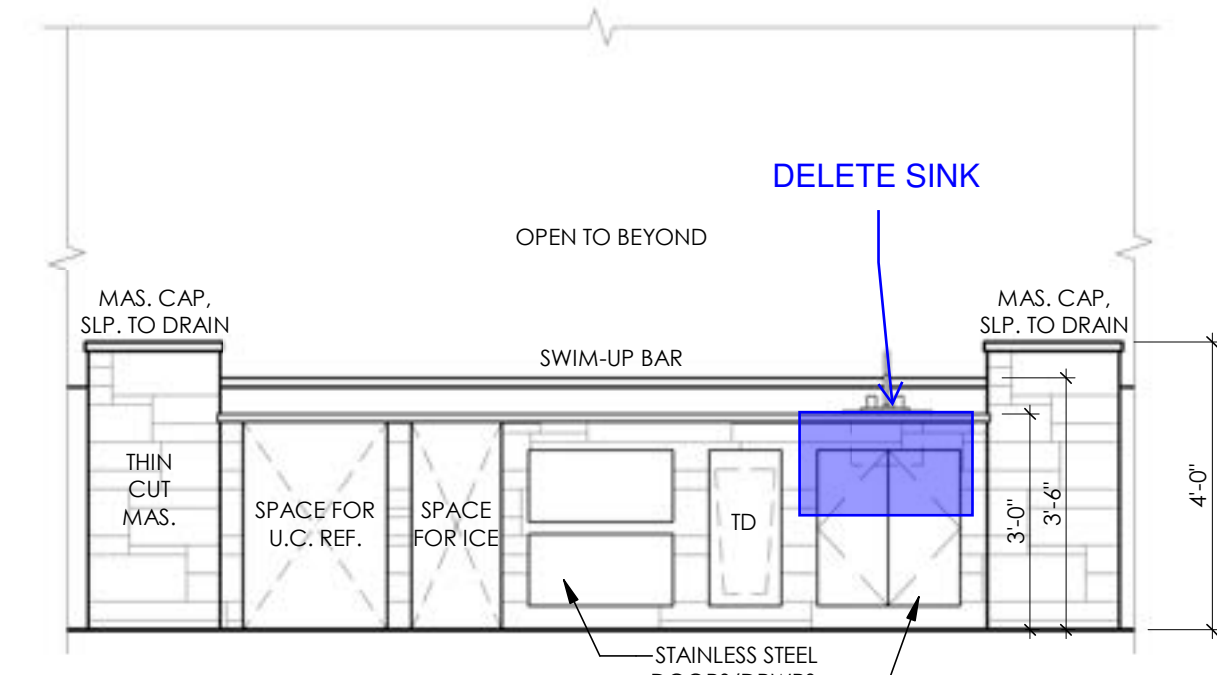
56 COV'D LANAI
3/8" = 1'-0"



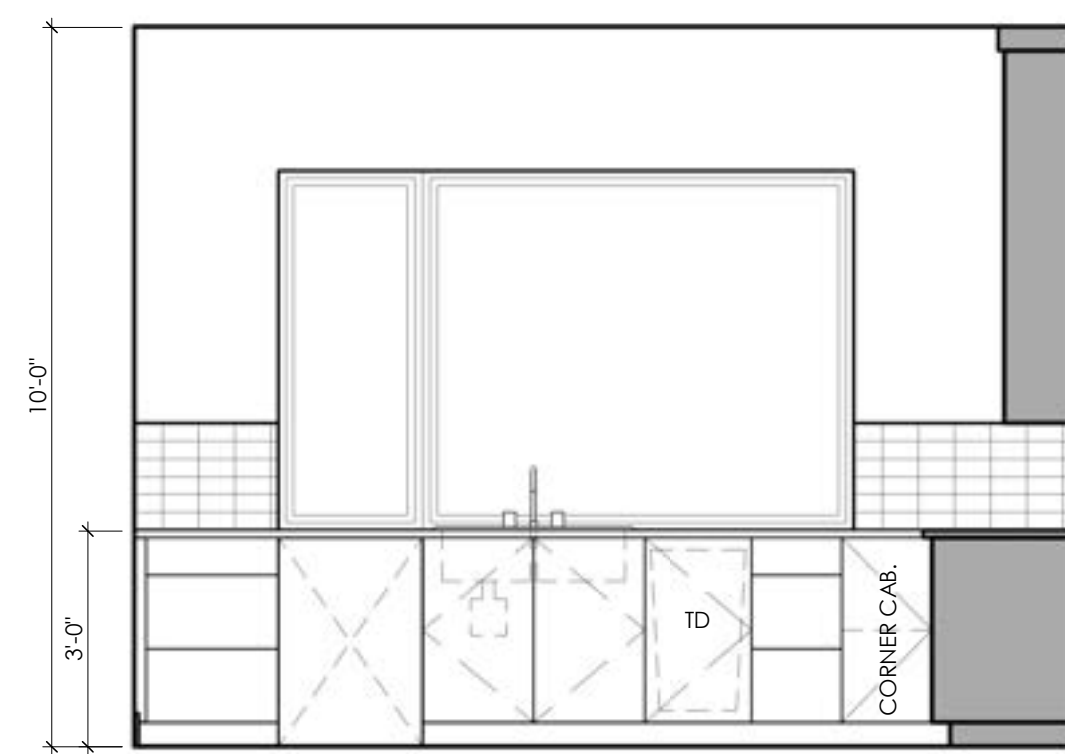
57 COV'D LANAI
3/8" = 1'-0"



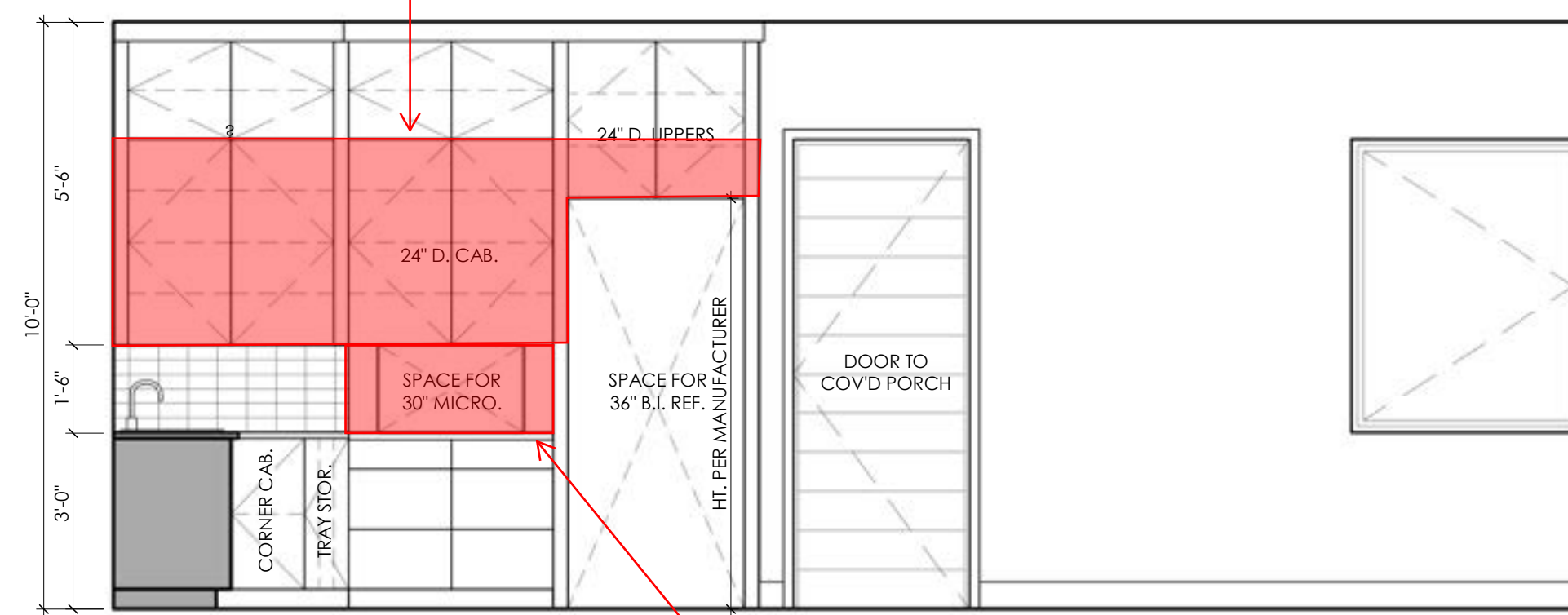
58 CABANA
3/8" = 1'-0"



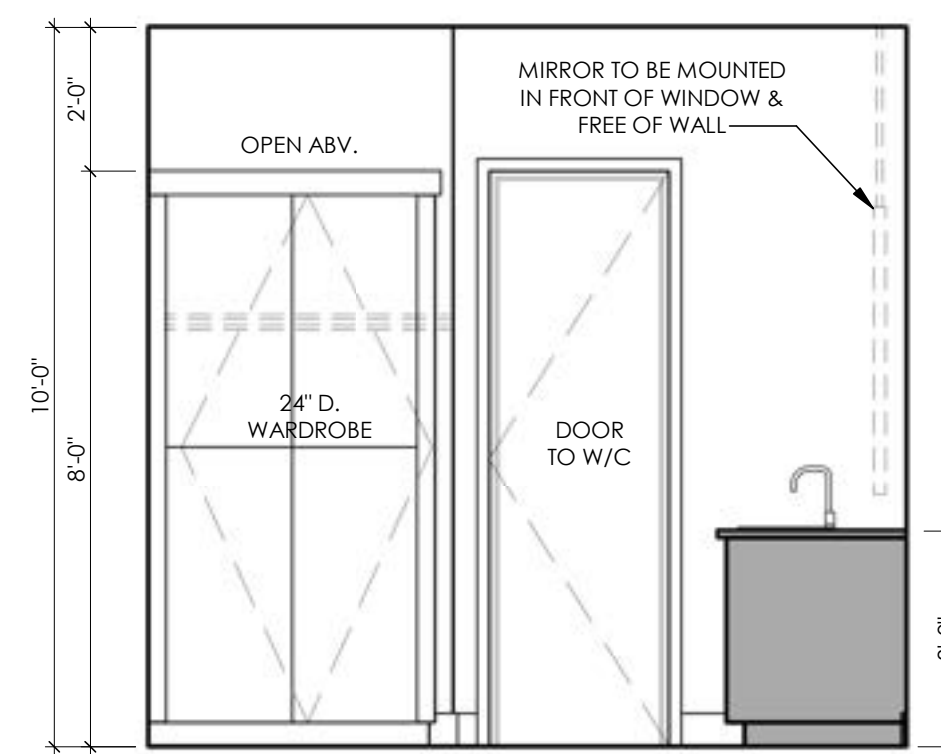
59 CABANA
3/8" = 1'-0"



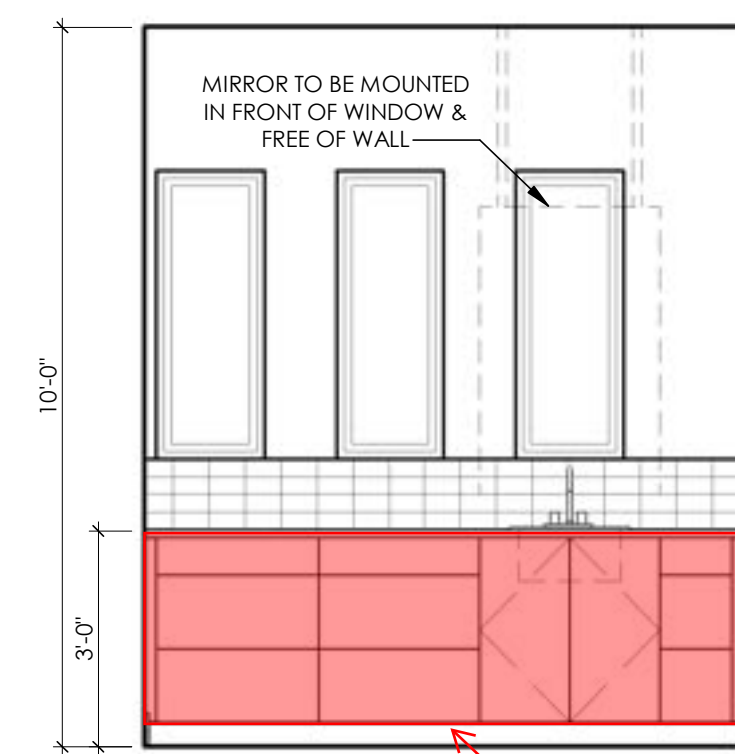
60 GARAGE KITCHEN
3/8" = 1'-0"



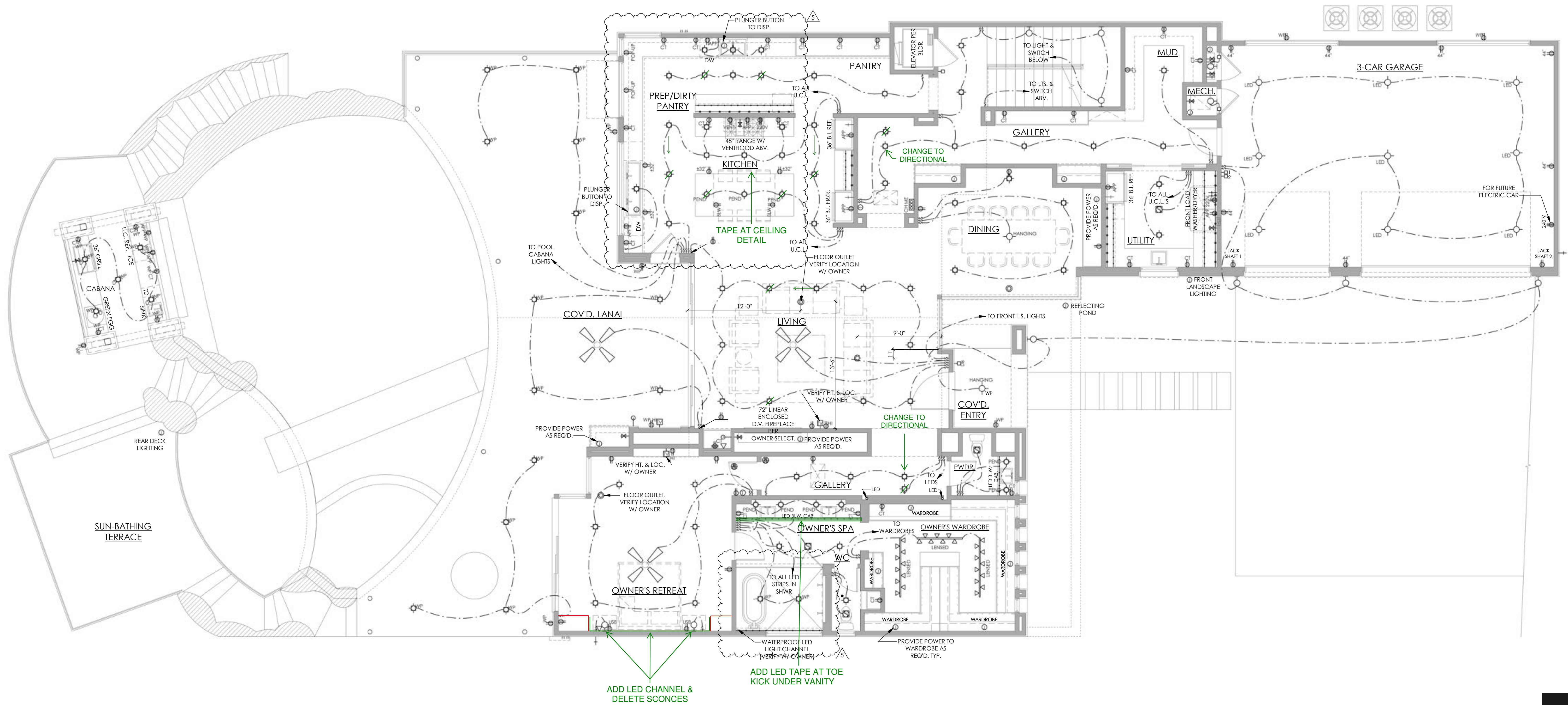
61 GARAGE KITCHEN / LOUNGE
3/8" = 1'-0"
CHANGE CABINET
HEIGHT TO 8'
ADD APPLIANCE
GARAGE



62 GARAGE BATH
3/8" = 1'-0"



63 GARAGE BATH
3/8" = 1'-0"
CHANGE TO ALL
DRAWERS
FLOAT VANITY



ELECTRICAL NOTES

- ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
- ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES AND HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS, APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
- COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
- ALL RECESSED DOWNLIGHTS TO BE THERMAL RATED AND INCLUDED IN BASE BID WITH TRIM RINGS AS SPECIFIED BY INTERIOR DESIGNER/OWNER TO MATCH ADJACENT FINISH. PROVIDE SAMPLE OF FINISH FOR APPROVAL PRIOR TO PURCHASE.
- PROVIDE DIMMER SWITCHES TO ALL LIGHTING FIXTURES AND RECESSED DOWN LIGHTS, EXCLUDING STORAGE AREAS AND SECONDARY BEDROOM CLOSETS.
- GANG ALL SWITCHES AND OUTLETS WHERE POSSIBLE.
- ALL SWITCHES TO BE @ 3'-0" A.F.F. TO CENTER LINE OF SWITCH PLATE. ALL OUTLETS TO BE 1'-0" A.F.F. TO CENTER LINE OF OUTLET UNLESS NOTED OTHERWISE.
- OUTLETS WITHIN 36" OF A SINK OR LAVATORY TO BE ON A G.F.I. CIRCUIT. ADDITIONAL GFI AS REQUIRED BY CODE.
- OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.
- VERIFY LOCATION, HEIGHT & TYPE OF POWER TO ALL APPLIANCES. COORDINATE WITH MILLWORK, OWNER, & INTERIOR DESIGNER.
- LOCATION OF FLOOR OUTLETS NOT REQUIRED BY CODE & ALL FLOOR PHONE OUTLETS TO BE VERIFIED BY OWNER.
- PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
- PROVIDE PHONE & CATV OUTLETS PER PLAN OR PER OWNERS REQUEST.
- SUPPLY POWER TO ALL HVAC UNIT(S). (REFER TO SPECS) PROVIDE POWER AS REQ'D. AT A/C COMPRESSOR UNITS.
- PROVIDE SWITCH AT ATTIC ACCESS AND LIGHT NEAR HVAC UNIT(S) IN ATTIC.
- MEDIA COMBINATION OUTLET(S) TO PROVIDE CONNECTIONS FOR ELECTRICAL & VARIOUS MEDIA/TELECOMMUNICATIONS SYSTEMS.
- PROVIDE BLOCKING FOR CEILING FANS WHERE SHOWN ON PLANS.
- PROVIDE FOR MOTION SENSORS AT ALL GARAGE DOORS.
- PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
- COMBINATION SMOKE/CARBON MONOXIDE DETECTORS SHALL BE LOCATED IN EACH BEDROOM AND AS SHOWN, ALL DETECTORS SHALL BE HARD WIRED TO PRIMARY AND HAVE BATTERY BACK UP.

ELECTRICAL LEGEND

SWITCH - SUBSCRIPT D - DIMMER WP - WATERPROOF M - MOTION	CEILING OUTLET	LIGHT - LOW VOLTAGE UPLIGHT	LIGHT - TRACK	COMBINATION SMOKE / CARBON MONOXIDE
PUSH BUTTON	DOUBLE GANG	LIGHT DIRECTIONAL	DATA CONNECTION	HEAT DETECTOR
THERMOSTAT	PLUG MOLD	MULTI SOURCE RECESSED	PHONE	DOORBELL CHIMES
JUNCTION BOX	UTILITY LIGHT	LIGHT - FLOOD	TELEVISION	ELECTRICAL PANEL
DUPLEX OUTLET - SUBSCRIPT CT - ABOVE COUNTER WP - WATERPROOF BLW - BELOW COUNTER USB	LIGHT - CEILING MOUNT	LIGHT - RECESSED IN RISER / WALL	SPEAKER	ELECTRICAL METER
SWITCH TOP PLUG ONLY	LIGHT - WALL MOUNT	LED STRIP LIGHT	CEILING FAN (WITHOUT LIGHT)	CEILING FAN W/ LIGHT KIT
FLOOR OUTLET	LIGHT - PENDANT	EXHAUST / VENT		
	LIGHT - RECESSED CAN 4" U.N.O. SUBSCRIPT: D - DIRECTIONAL WP - WATERPROOF	HEAT LAMP		
		VENT / LIGHT COMBO		

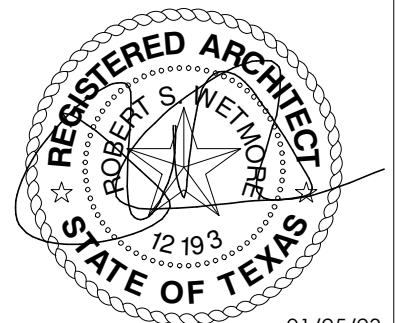
1 MAIN FLOOR ELECTRICAL
3/16" = 1'-0"

OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.



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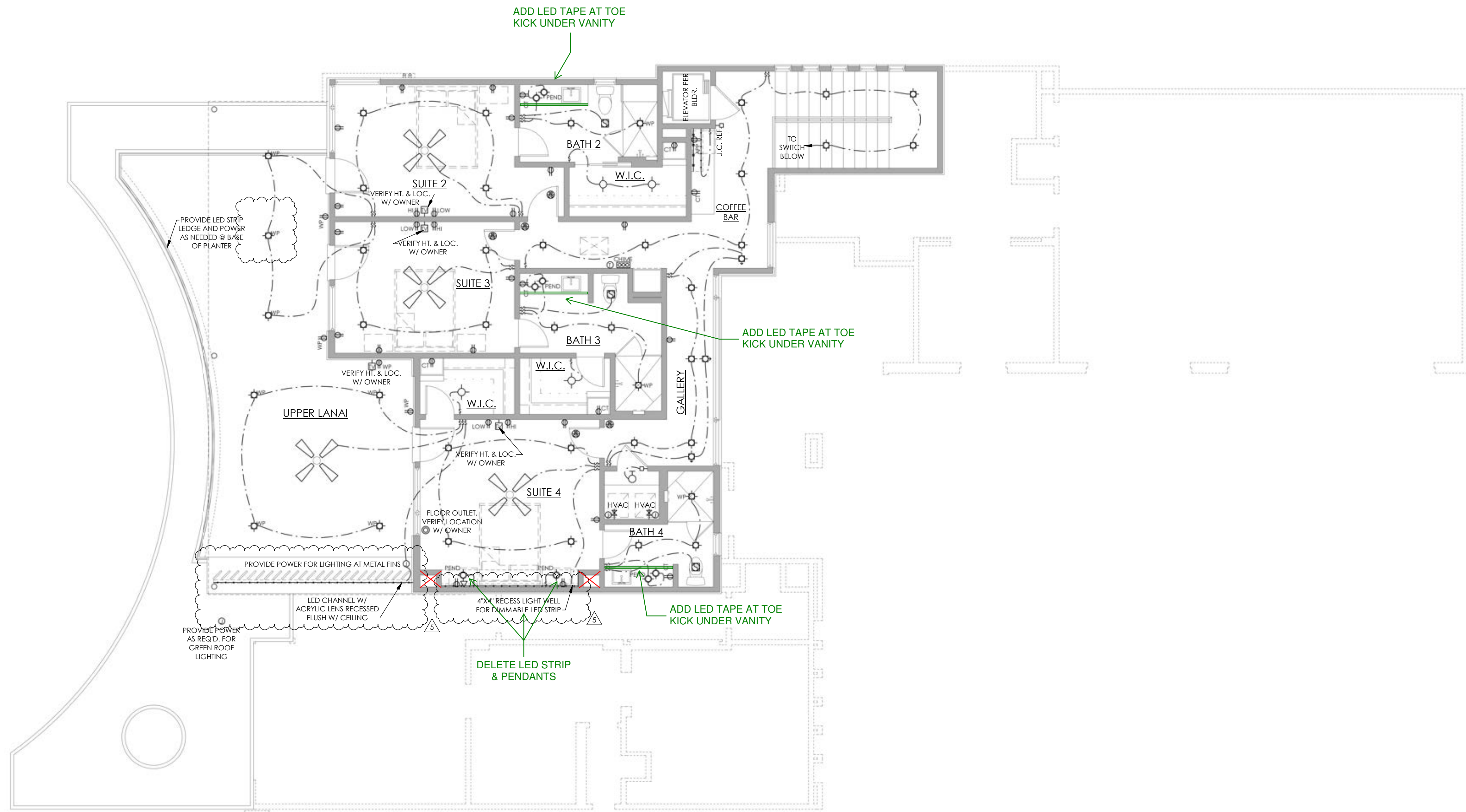
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SHEET: A17
17 of 21

PROJECT NO: 21101
DRAWN BY: SRK
DATE: 03/09/2022
CHECKED BY: PC
PROJECT MGR: SRK



1 UPPER FLOOR ELECTRICAL
3/16" = 1'-0"

OUTLET HEIGHTS AT ALL VANITIES, BASE CABINETS AND OTHER MILLWORK TO BE DETERMINED BY OWNER OR INTERIOR DESIGNER SO AS NOT TO INTERFERE WITH ANY DECORATIVE SPLASH MATERIALS OR DESIGNS.



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5 01/25/23 ENV. R1, RCP/ELEC.

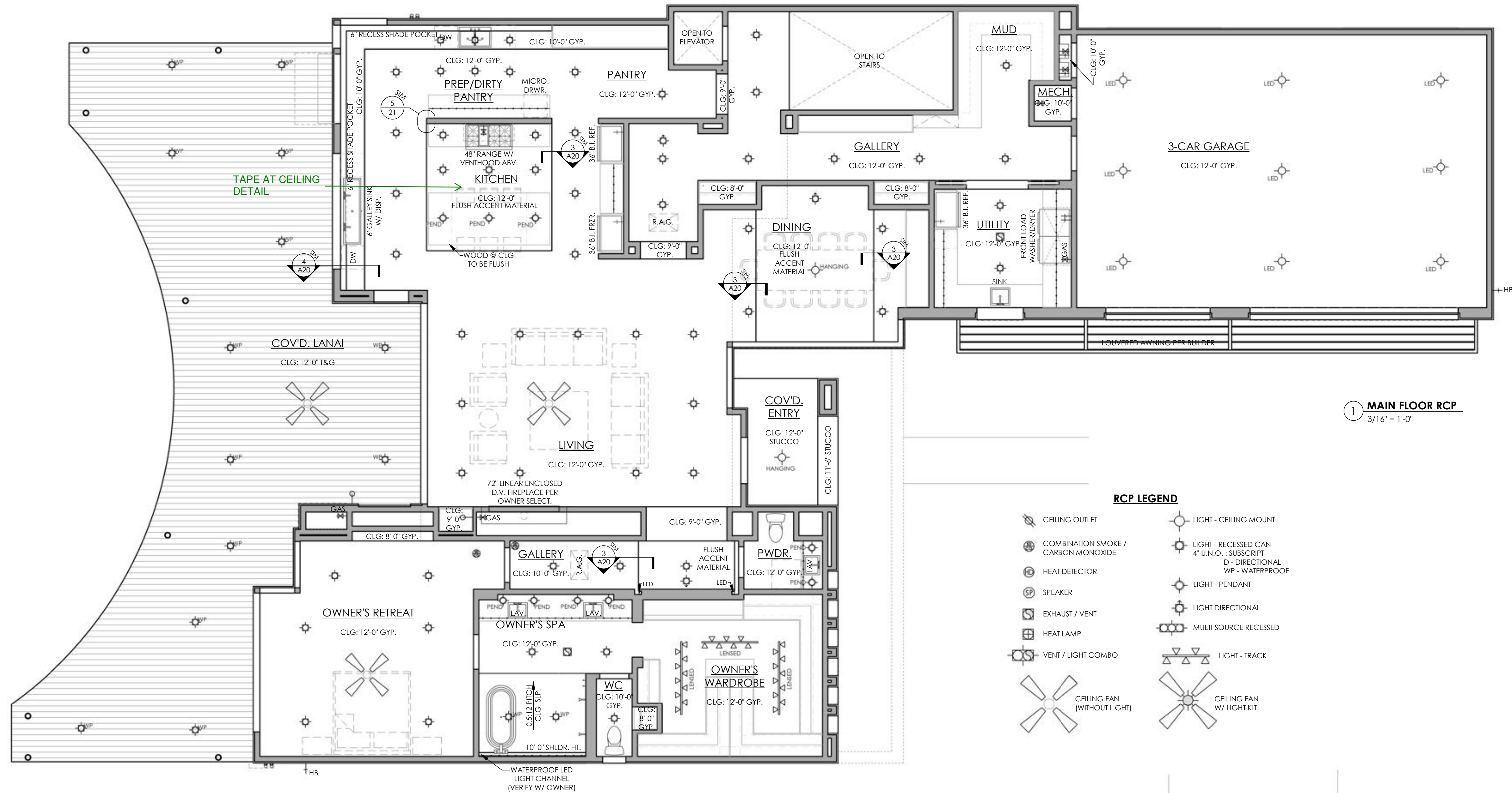
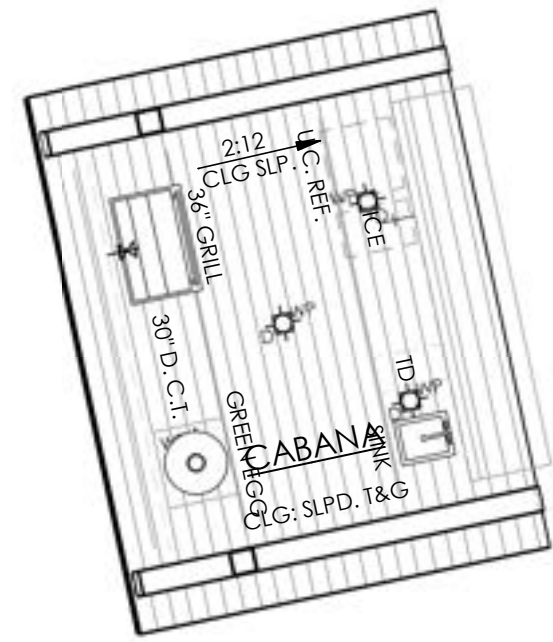


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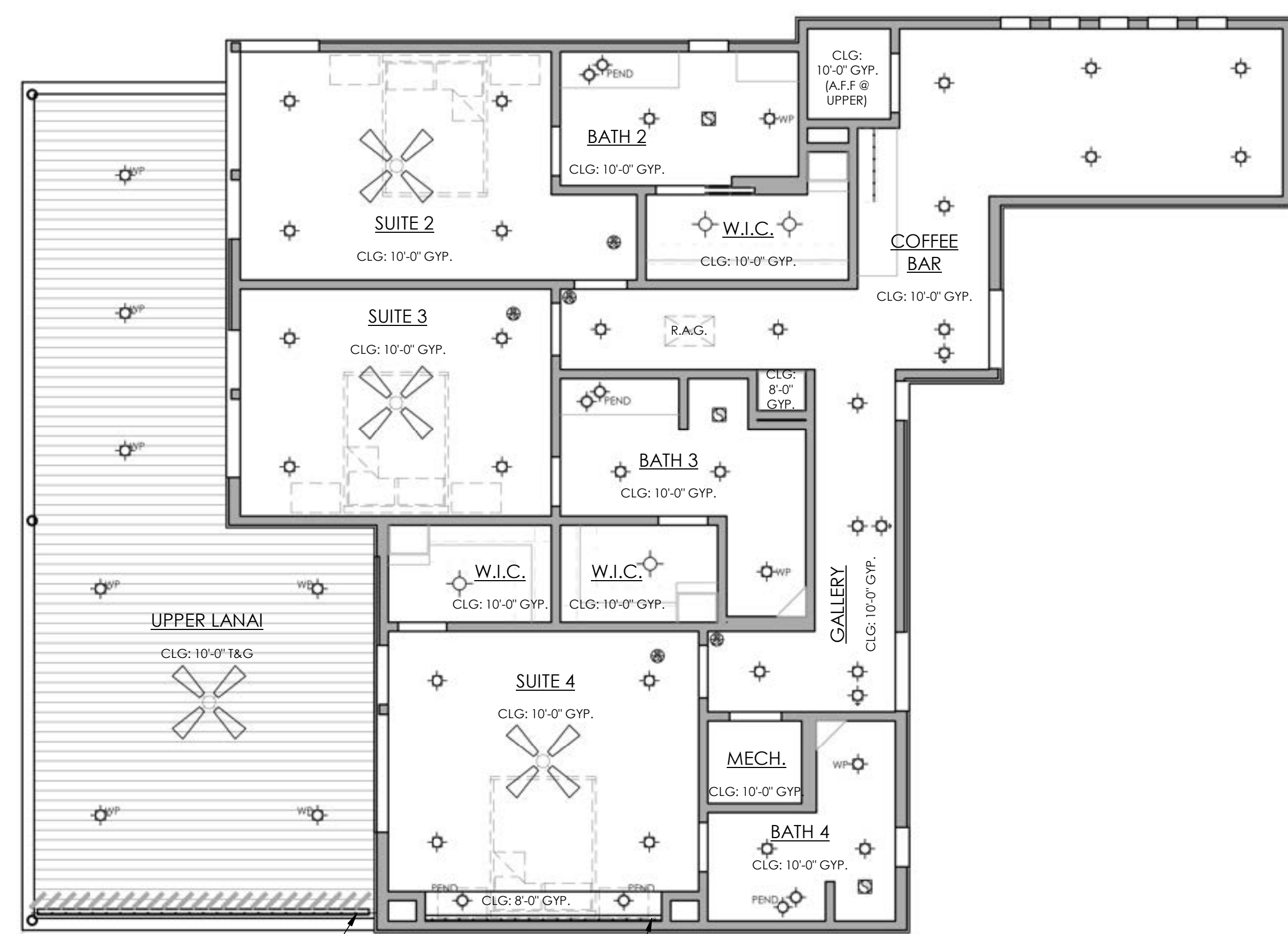
SHEET: A18
18 of 21

PROJECT NO: 21101
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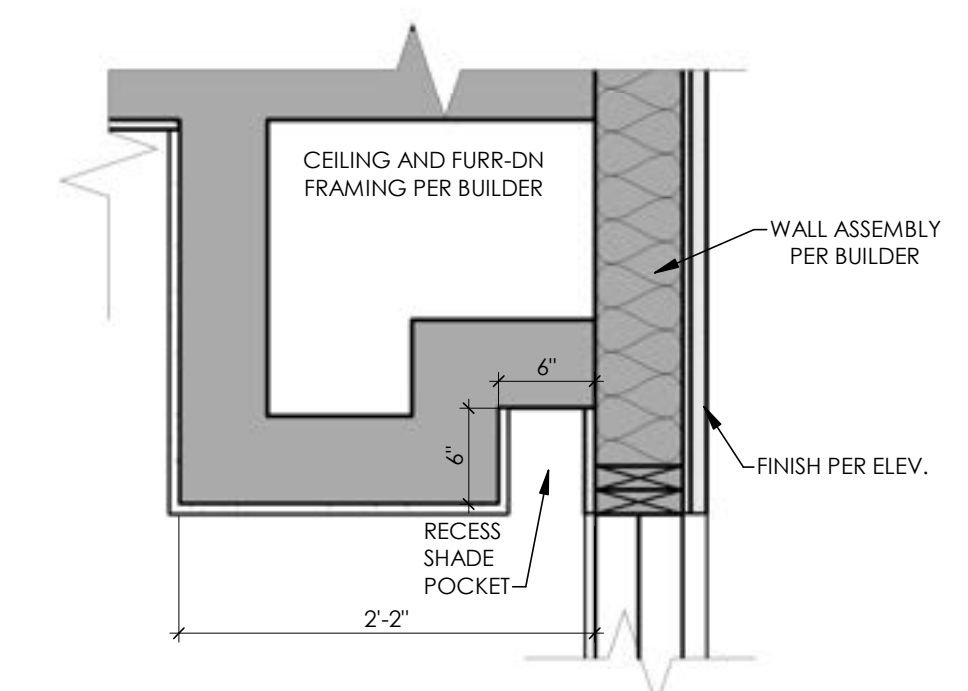
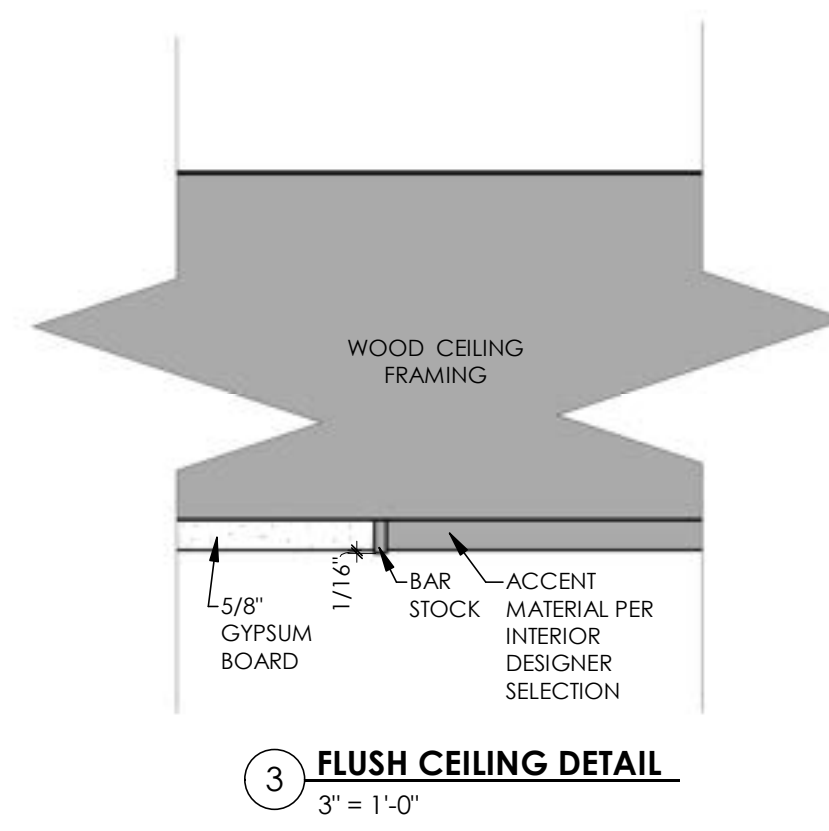


1 MAIN FLOOR RCP
3/16" = 1'-0"

RCP LEGEND	
	CEILING OUTLET
	COMBINATION SMOKE / CARBON MONOXIDE
	HEAT DETECTOR
	SPEAKER
	EXHAUST / VENT
	HEAT LAMP
	VENT / LIGHT COMBO
	CEILING FAN (WITHOUT LIGHT)
	LIGHT - CEILING MOUNT
	LIGHT - RECESSED CAN 4' U.N.O. - SUBSCRIPT
	D - DIRECTIONAL WP - WATERPROOF
	LIGHT - PENDANT
	LIGHT DIRECTIONAL
	MULTI SOURCE RECESSED
	LIGHT - TRACK
	CEILING FAN W/ LIGHT KIT



2 UPPER FLOOR RCP
3/16" = 1'-0"



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SHEET:
A20
20 of 21

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